



SHIRE OF MORAWA
ORDINARY COUNCIL MEETING
(ATTACHMENTS)

Monday, 15 December 2025



WESTERN AUSTRALIA'S
WILDFLOWER COUNTRY

Agenda Attachments

Shire of Morawa

Ordinary Council Meeting

15 December 2025

List of Attachments

11.1 Chief Executive Officer

11.1.2 Annual Report and Annual Financial Statements and Audit Report

Attachment 1 – 11.1.2a Shire of Morawa Annual Report 2024-25 including Annual Financial Statements and Auditor Opinion.

11.1.3 Regional Housing Support Fund

Attachment 11.1.3a - Regional Housing Support Fund Guidelines

Attachment 11.1.3b - 1x1 & 2x2 Dual Residence Plan

Attachment 11.1.3c - 2x2 & 2x2 Dual Residence Plan

6623 Attachment 11.1.3d - Certificate of Title with Sketch 1544-911 **4 Evans Street, MORAWA**

Attachment 11.1.3e - 4 Evans Street, MORAWA 6623 - Sketch for 1544-911

Attachment 11.1.3f - Telstra - RHFS - 4 Evans

Attachment 11.1.3g - Watercorp - RHFS - 4 Evans

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6623 Attachment 11.1.3i - Certificate of Title with Sketch 1699-92 **4 Granville Street, MORAWA**

Attachment 11.1.3j - 4 Granville Street, MORAWA 6623 - Sketch for 1699-92

Attachment 11.1.3k - Telstra - RHFS - 4 Granville

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Attachment 11.1.3m - Western Power - RHFS - 4 Granville

Attachment 11.1.3n - SoM - RHFS - 4 Granville

6623 Attachment 11.1.3o - Certificate of Title with Sketch 1686-432 **59 Dregghorn Street, MORAWA**

Attachment 11.1.3p - 59 Dregghorn Street, MORAWA 6623 - Sketch for 1686-432

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Attachment 11.1.3u - Letter of Support - CSWA - RHSF Morawa

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Attachment 11.1.3w - Letter of Support - MEEDAC - RHSF Morawa

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Attachment 11.1.3z - Letter of Support - REED - RHSF Morawa

Agenda Attachments

Shire of Morawa

Ordinary Council Meeting

15 December 2025

12.1 Reports from Committee

12.1 Audit, Risk & Improvement Committee (ARIC) - December 2025.

Attachment 1 – 12.1a Minutes of Audit, Risk & Improvement Committee Meeting, 10 December 2025.

Ordinary Council Meeting 15 December 2025

Attachment 1 - 11.1.2a Shire of Morawa Annual Report 2024-25 including Annual Financial Statements and Auditor Opinion.

Item 11.1.2 - Annual Report and Annual Financial Statements and Audit Report

SHIRE OF MORAWA

ANNUAL REPORT 2024-2025



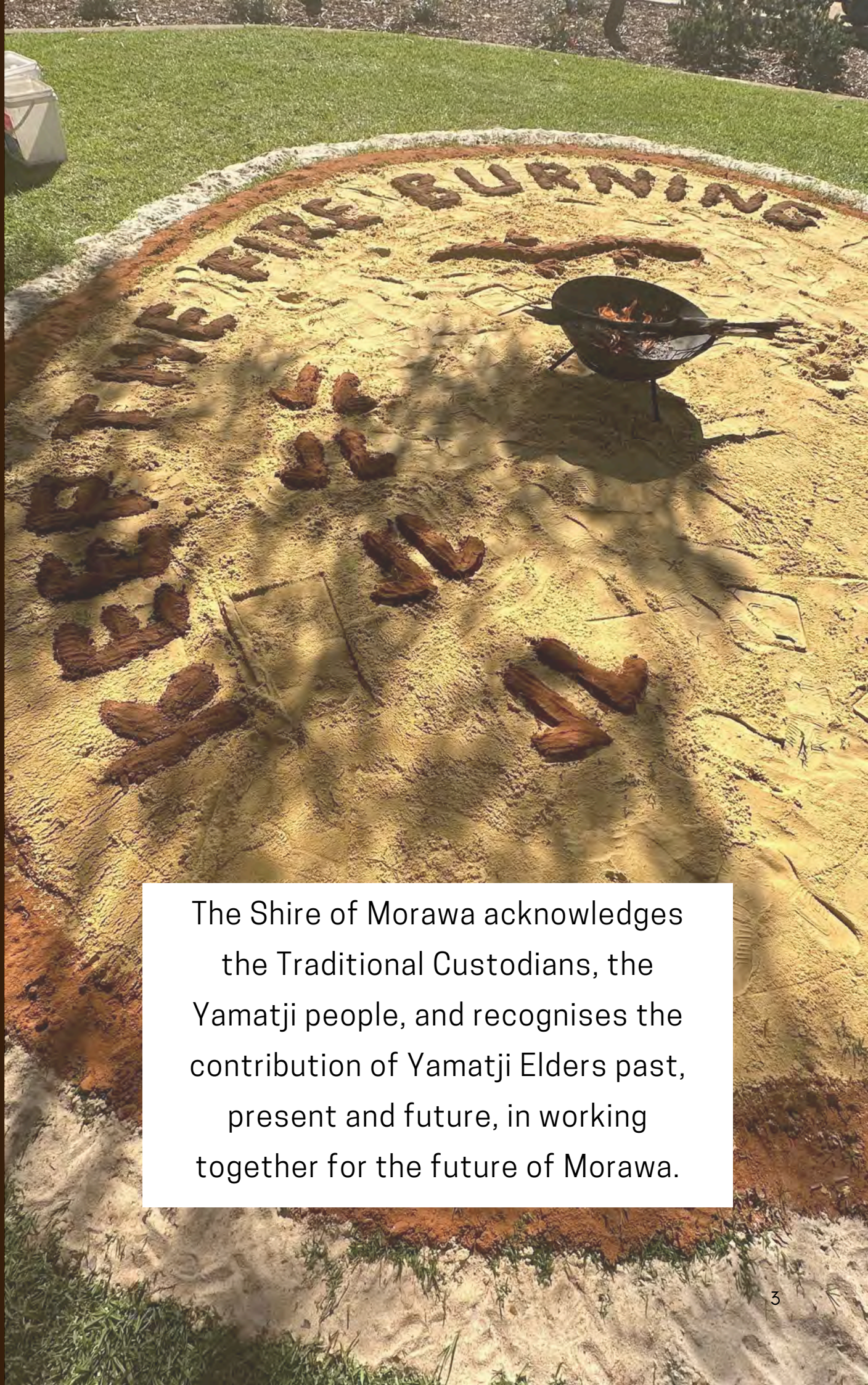
Welcome to the Shire of Morawa's 2024-2025 Annual Report.

This report provides an overview of the key activities, projects, and outcomes delivered throughout the 2024-2025 financial year as we continue working toward our community's long-term vision for Morawa.

Guided by the Shire's Strategic Community Plan, which sets out seven Community Aspirations supported by strategic focus areas, this report highlights our progress and achievements. It outlines the wide range of services and functions undertaken by the Shire, our financial performance, and the governance and statutory frameworks that guide our operations.

The report also emphasises the Shire's ongoing commitment to Morawa's future development and the improvement of essential community infrastructure.

ACKNOWLEDGEMENT OF COUNTRY



The Shire of Morawa acknowledges the Traditional Custodians, the Yamatji people, and recognises the contribution of Yamatji Elders past, present and future, in working together for the future of Morawa.

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A MESSAGE FROM THE SHIRE PRESIDENT

I am pleased to present the Shire of Morawa's Annual Report for the 2024-2025 financial year. It has been a year of significant achievement, strategic planning, and community connection as we continue to build a Shire that offers livability and opportunity for all.

Our community spirit remains our greatest asset. As always, Morawa has thrived thanks to the dedication of our countless volunteers, community groups, and staff who contribute their time and energy to making our town a wonderful place to live and a welcoming destination for visitors to the Mid-West.

This year has been defined by forward-thinking governance and successful advocacy. A major highlight for the Shire was securing approximately \$2.2 million in funding through the Commonwealth Government's Growing Regions Program – Round 2. This funding will enable the construction of a new Early Education and Childcare and Family Centre next year, a critical project for which we have already commenced design work and selected a location. This facility will be a cornerstone for retaining families and supporting our community's future.

We have also continued our commitment to rigorous planning and compliance. I am proud to report that our 2024 Compliance Audit Return was submitted with 100% compliance, highlighting the Shire's dedication to good governance. To further strengthen our audit and risk capabilities, we appointed a new independent chair to the Audit and Risk Committee in March. Additionally, Council adopted several key strategic documents, including the Waste Management Plan 2024-2034, the Road Maintenance Plan 2025-2035, and a desktop review of the Strategic Community Plan, ensuring we have a clear roadmap for the future. While planning for the future, we have remained focused on delivering for the present. A significant portion of our budget continues to be dedicated to maintaining and upgrading our road network.

Agriculture is the backbone of our community and high yielding years like 2024/25 place increased emphasis on the condition of our road network. Major works were completed on Morawa South, Boundary, and Hill Roads, alongside upgrades to the Morawa-Yalgoo Road and resheeting on Norton and Collins Roads.

At Solomon Terrace, we saw the master plan come to life with the commencement of drainage works, road sealing, curbing, and the installation of solar lighting. We also improved safety and accessibility across the townsite with new illuminated wind direction indicators for the RFDS, safety bollards on Morawa-Wubin Road, and the installation of new tourism signage.



A MESSAGE FROM THE SHIRE PRESIDENT

We are also investing in our community spaces. Design work was drafted for the upgrade of Prater Park, and we saw the establishment of a new gallery space at the Old Roads Board building following the relocation of the Visitor Centre. The Recreation Centre roof completion and the start of the commencement of the tennis court project are further testaments to our commitment to maintaining high-quality sporting facilities.

Our events calendar was vibrant this year, showcasing the energy of our region. From the 2024 Biennial Art Exhibition and Awards to the Christmas Street Festival, NAIDOC celebrations, and the Community Connections Expo, there were many opportunities for residents to come together. Our youth were well supported through school holiday programs, including basketball and skate clinics, and the engaging activities hosted by Fair Game.

I would like to take this opportunity to thank all Councillors for their commitment to ensuring the future of Morawa Shire is in line with the communities vision, I also extend my deepest thanks to Scott Wildgoose, Mike Cole, and the entire Shire of Morawa operational team. Your hard work, from the administration office to the roads crew, is integral to our success.

I look forward to another year of progress as we finalise the design and move into the construction phase of our new Early Child Education Centre and continue to deliver on the projects that matter most to our community.

CR KAREN CHAPPEL AM JP
SHIRE PRESIDENT



A WORD FROM THE CEO

It is a privilege to present the Chief Executive Officer's report for the 2024-2025 financial year. Having commenced my role as CEO in September 2025, I am in the unique position of presenting a report on a year of operations that concluded prior to my arrival. In doing so, I wish to acknowledge the dedicated leadership of the previous CEO, who served until late 2024, and the Acting CEO, who guided the Shire through the remainder of the financial year.

Despite the leadership transition, the Shire of Morawa has remained focused on delivery, compliance, and community service. The organisation has demonstrated resilience and stability, continuing to advance key projects while maintaining a strong governance framework.

The Shire continues to maintain a robust financial position. Maintaining strong financial health and compliance is the bedrock of our operations. The Corporate Services team successfully delivered a balanced set of financials, supported by robust practices that ensure the Shire's sustainability. Our commitment to best practice governance was affirmed by achieving 100% compliance in the 2024 Compliance Audit Return. This critical result highlights the diligence of staff across all departments.

Furthermore, we finalised key long-term planning tools, including the adoption of the Waste Management Plan 2024-2034 and the Road Maintenance Plan 2025-2035. These documents are vital for the efficient management of our physical assets over the next decade.

In the realm of infrastructure, 2024-25 laid the essential groundwork for Morawa's future growth. The most significant operational achievement was the work performed to secure the Commonwealth's Growing Regions Program funding (approximately \$2.2 million) for the new Early Education Childcare and Family Centre. The successful grant process and commencement of design work were a massive administrative undertaking that sets up the construction phase for the coming year.

Our Works Team executed a substantial road maintenance program, ensuring essential regional access and safety:

- Major resheeting projects were completed, including Collins Road, Norton Road, and key sections of the Morawa-Yalgoo Road.
- The essential roadworks on Morawa South, Boundary, and Hill Roads were completed in March 2025.
- We saw the commencement and near-completion of drainage and road improvements at Solomon Terrace, a vital component of the precinct masterplan.

To enhance our service delivery capacity, the Shire invested in new plant and equipment, including the supply and delivery of a new compact sweeper and a truck loader, directly supporting the operational efficiency of our outside crew.



A WORD FROM THE CEO

The Shire's staff was central to facilitating a dynamic range of community events, from the school holiday programs (including the successful basketball and skate clinics) and the Biennial Art Exhibition to events coordinated with partners like Blue Light and Fair Game.

We also saw the completion of the Recreation Centre roof and the commencement of the tennis court project, ensuring these sporting facilities are well-maintained and in excellent working condition. The 5-year renewal of the Shared Medical Services agreement between Morawa and Perenjori was another critical milestone, securing continuity of care for our and our neighbours' residents – an important regional initiative.

The Shire has continued to invest in the livability of Morawa. The Solomon Terrace precinct has begun its transformation with new solar lighting, paths, and curbing. In town, we saw the relocation of the Visitor Centre to the Old Roads Board building, which also facilitated the establishment of a new gallery space, enriching our arts and culture offerings.

I would like to take this opportunity to thank the Shire staff for their hard work and adaptability during a year of change. The commitment demonstrated by the entire staff during this time of change is truly commendable. I also extend my gratitude to the Shire President and Council for their support as I step into this role.

While I have only recently arrived in Morawa, I am incredibly impressed by the community spirit and resilience. I look forward to leading the organisation into the next phase of its development, particularly as we move into the construction of the new Early Education Centre and continue to deliver on our strategic goals.

MARTY SYMMONS
CHIEF EXECUTIVE OFFICER



Shire Services

Council provides a variety of services for the community under a wide range of legislation, including:



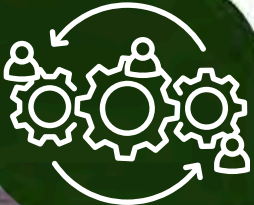
\$830,689

Annual cost for operation of Community Facilities including the pool and sporting grounds



596

Dwellings in the Shire of Morawa



- Dog control
- Planning approvals
- Roads, footpaths and kerbs
- Street lighting
- Waste management
- Community Events
- Cemetery Services
- Bushfire Control and Prevention



- Community buildings
- Community development
- Environmental Health
- Library services
- Playgrounds
- Parks and gardens
- Recreation facilities and gym
- Swimming pool
- Youth Centre
- Department of Transport Services



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Major capital works projects completed over 2024-2025

A Snapshot of Morawa

Morawa is an Aboriginal name that first appeared on local maps in 1910, referring to a nearby rock gnamma hole. The name may come from "Morowa" or "Morowar," terms for the dalgite — a small, earth-burrowing marsupial related to the bilby. Another possible interpretation of the name is "the place where men are made."



Morawa officially became a townsite in **1913**



Total Land Area in the Shire of Morawa
3516km²



Total Shire Population
660*



Number of Rateable Properties
567



Our population identifies as-
49.7% Male*
50.3% Female*



Total Length of Footpaths within the Shire
3.5kms



Total Length of Roads within the Shire
Unsealed **815kms**
Sealed **970kms**

Strategic Community Plan

Our Plan

The Shire's current Strategic Community Plan was first adopted in 2022 and subsequently underwent a review endorsed by Council on 19 June 2025.

The Plan outlines the community's long-term vision, priorities, and aspirations, guiding the Shire's decision-making and informing its actions. It provides a clear direction for Council, ensuring decisions are aligned with the community's needs and future goals. The Strategic Community Plan includes a range of key strategies designed to support the development of a shared, sustainable, and vibrant future for Morawa.

Our Aspirations

The overarching vision of the Strategic Community Plan can only be achieved through the collective efforts of all groups, organisations, and community members. To help focus these efforts, the vision is supported by seven clearly defined Community Aspirations, each accompanied by strategic focus areas that guide planning and action.



Create a sense of place for visitors

- Factor the Visitor experience into planning and design decisions
- Develop and Implement a Tourism Plan
- Embrace a commitment to excellent service
- Ensure the townsite and its services are accessible to all



Activate a vibrant small business sector

- Facilitate and support small business
- Encourage variety and competition
- Maintain strong support systems and services



Take pride in our community and an aesthetically appealing townsite

- Develop and implement a townsite greening plan
- Enhance the appearance of homes, gardens, businesses, public buildings and open spaces
- Utilise public art
- Celebrate our wins



Embrace cultural and social diversity

- Develop and implement an Arts and Culture plan
- Champion inclusion and engagement
- Invest in socialisation and belonging
- Promote positive aging in place across the community



Occupy a Safe and Healthy living space

- Build safer neighbourhoods
- Occupy fit for purpose housing
- Increase active living
- Enhance health service provisions



Be future focused in all we do

- Ensure the Shire and its assets are well resourced and sustainable
- Embrace recycling and renewable energy
- Foster passion and belief in younger residents



Cement strong foundations for growth and prosperity

- Safe and suitable road and other transport networks
- ready to go commercial and industrial facilities
- Enhance partnerships and alliances

Create a Sense of Place for Visitors

Factor the visitor experience into planning and design decisions

Further improvements, including the construction of new pathways, roads and parking bays and the installation of solar streetlights at the Solomon Terrace Precinct, are enhancing Morawa's visual appeal for visitors. Additionally, new information signage throughout the townsite and at the pergola at the Southern entrance of town will assist visitors in navigating and exploring the area more easily.

Embrace a commitment to excellent service

The Morawa Visitor Centre has relocated to a new location at the Old Roads Board building. The new site offers easier access for visitors, including ample caravan parking and ramp access. The Visitor Centre shares the building with the newly refurbished Morawa Arts and Cultural Centre, enhancing the experience for tourists and community members alike.

Ensure the Townsite and its services are accessible to all

Construction has continued as part of the Shire's 10 year shared footpath upgrade plan, new dual lane paths are set to start on Broad Ave and Gill Street at the end on 2025.

Develop and Implement a Tourism Plan

Our Tourism Plan was officially adopted in 2022, and the Shire is diligently working towards our outlined action steps. This includes collaborations with Astrotourism, ICRAC and Australia's Golden Outback to promote the region. Notable activities have included features in articles for the North West Travel Guide, as well as hosting events such as our Biennial Art Awards and Exhibition and the Midwest NAIDOC event. Additionally, we have been actively promoting our online Community Calendar with the invaluable support of the community.

Activate a Vibrant Small Business Sector

Shire support & approvals for small business

We continually promote and support the establishment of new businesses within the Shire. Over the past financial year, we have witnessed the re launch of Café 6623, run by dedicated volunteers from the Morawa Speedway, along with Wallace Plumbing and Gas and Terraform Contracting occupying two of our business units, which have flourished over the past 12 months.

Encourage variety and competition

We frequently collaborate with local community organisations such as Desert Blue Connect, Morawa Community Resource Centre (CRC), and the WA Police Blue Light Project, as well as the Morawa NAIDOC Working Group. Together, we have co-hosted various community events, including the Morawa Community Connections Expo, the Morawa Christmas Street Festival, school holiday programs, seniors event, men's and women's mental health events, and community movie nights. We have also worked with MEEDAC helping hands program to help maintain the Widimbia Trail.

Maintain strong support systems and services

Shire continues to advocate for improvements to basic utilities and services at the State & Federal level. We have been working to improve the public WIFI and CCTV.

Take Pride in our Community and an Aesthetically Appealing Townsite

Enhance the appearance of homes, gardens, businesses, public buildings, and open spaces

Our Parks and Gardens team have been working tirelessly to make sure that our town site and green spaces are well maintained. We have also completed the removal of 3 dilapidated properties damaged by Cyclone Seroja.

Utilise public art

As a part of our public art initiative, we arranged a variety of events including North Midlands project NAIDOC day public art workshop. We have also completed the fit out of the Morawa Arts and Cultural Centre at the Old Roads Board Building with exhibitions and workshops scheduled for 2025-2026.

Celebrate our wins

- The 2024 Morawa Art Awards and Exhibition highlighted our community's vibrant spirit, attracting the largest turnout ever, with over 400 artworks submitted.
- We announced the recipients of the Sinosteel Future Fund Grant, which will support local initiatives and groups.
- The Shire secured extra funding from the State Government's Growing Regions Program to support the construction of the Early Childhood Education Centre.
- The Shire's 2024 Compliance Audit Return was confirmed to be 100% compliant.
- Cr. Stokes received the 2024 WALGA Merit Award for his contributions to local government.
- Cr. Collins was honored with the Community Health Professional of the Year Award.

Embrace Cultural and Social Diversity

Develop and implement an arts and culture plan

We have collaborated with North Midlands to co-host a series of art workshops at the youth center during school holidays and our NAIDOC celebrations. With the completion of the Morawa Arts and Cultural Centre, our goal is to make this venue accessible for local art groups and artists to utilise as a gallery and workshop space.

Champion Inclusion and Engagement

Midwest NAIDOC events have fostered opportunities to cultivate respectful and sustainable relationships between Aboriginal and non-Aboriginal communities, leading to a deeper understanding and appreciation of Aboriginal culture and achievements. Additionally, we continue to support local youth through our Youth Centre's after-school and school holiday programs, offering a variety of activities that promote social inclusion and mental well-being.

Invest in socialisation and belonging

The Shire collaborates closely with local community groups, offering well-maintained venues to host community events and enhance social opportunities for residents in the region.

Promote positive aging in place across the community

We have actively engage with our senior community members, having partnered with Desert Blue Connect to host several events during Seniors Week, including an intergenerational art session. Our community events attract a diverse audience, with participants of all ages coming together. The Shire has also worked closely with the Morawa Visitors Centre and Morawa Historic Museum whose volunteer base is majority senior members.

Occupy a Safe and Healthy Living Space

Build safer neighbourhoods

- The Shire has successfully upgraded the lighting on Winfield Street and Solomon Terrace to improve vision at night time.
- We have also installed fencing around the Old Hospital.
- Collaborating closely with DFES, we have organised Volunteer Bush Fire Training sessions and produced Fire Safety information booklets for all volunteers.
- Road safety remains a top priority, supported by grant funding from Road Wise WA. We have completed a brief road safety video titled Safe Streets Morawa, featuring local school children.
- To enhance access and safety for the Royal Flying Doctor Service and St John Ambulance, illuminated wind direction indicators and solar lights have been installed at Morawa airport.
- We maintain strong partnerships with local emergency service personnel and ranger services to ensure community safety.
- New safety bollards have been installed at the crossing of Morawa-Wubin Road.
- We continue to maintain our vast sealed and unsealed road network to ensure the safety of motorists.



Occupy fit for purpose housing

The Shire is actively exploring future planning options to establish workforce and community housing within Morawa. With government grants expected to open in 2026, we are researching the most effective and functional options for new housing development that will benefit the community.

Increase active living

We have hosted various sports activities for our youth, including basketball and skateboard clinics, and welcomed Fair Game to promote the importance of physical exercise and healthy eating. The completion of the new roof on the Recreation Centre will ensure that activities can be hosted year-round. Additionally, we have supported the Morawa Tennis Club with the construction of new tennis courts, set to be completed in 2026. We have also organised Bike Week community events and continue to expand our dual-lane footpath programs, ensuring safer access for pedestrians and cyclists.

The Shire was also involved in the State Governments Kidsport regional Pools program, helping subsidise the cost of seasonal pool passes for eligible families.

We also continue to ensure that the Morawa Community Gym and Swimming Pool is well maintained and available to the community.

Enhance health service provisions

The Shire has worked closely with the Morawa and Perenjori health services to renew a new five-year shared medical services agreement, ensuring adequate healthcare within the community. Additionally, we have collaborated with Desert Blue Connect to co-host a series of events at the youth center encouraging and teaching stress and anxiety coping strategies as well as a men's and women's mental health event focusing on available mental health support within Morawa.

Be Future Focused in all we do

Ensure the shire and its assets are well resourced and sustainable

To ensure the commitment of a well run regional Shire, we have completed a 5 stage review of several policy manuals to ensure that we are still compliant and up to date with current regulations. The Shire has also appointed an independent chair on the Audit, Risk and Improvement Committee to highlight our commitment to ensuring the Shire remains 100% compliant for future audits. The adoption of the 2024-2034 Waste management plan, 2025-2035 Road management plan, road maintenance plan and the review of the Strategic community plan ensures our facilities and infrastructure are sustainable for the future.

Embrace recycling and renewable energy

The Shire has adopted a new 10 year waste management plan to ensure the longevity of the current Morawa Landfill. The plan will encourage a reduction of food and packaging waste, encourage recycling and better manage the current refuse facility and promote community waste management education.

We have also made the more environmentally friendly choice to install solar streetlights as part of the Solomon Terrace Master plan.

Fostering Passion and Belief in Younger Residents

We have successfully secured funding for the development of the Morawa Early Childhood Education Centre, set to begin construction in 2026. This project represents a significant step forward in addressing the educational needs of children aged 1-5, where there is currently a gap.

Our Shire-run youth centre provides a safe environment for Morawa's youth aged 8-18 years. With a consistent focus on school holiday programs that feature a range of activities including sports, arts and crafts and the promotion of healthy lifestyle choices designed to build resilience, enhance social interaction, and develop life skills. We frequently collaborate with external organisations such as Fair Game, the Carey Right Track Foundation, Infinity Skate, Desert Blue Connect, and North Midlands Project to inspire our local youth with fresh ideas and activities.

Cement Strong Foundations for Growth and Prosperity

Safe and suitable road and other transport networks

Focusing on the maintenance and enhancement of our existing road infrastructure, we have successfully completed several significant road projects. These include the widening and sealing of the Morawa-Yalgoo Road, as well as the gravel resheeting project on various roads such as Collins Rd, Norton Road, Koolanooka South, Stephen Road, and White Road. We also saw the completion of the upgrade of the Morawa South, Hill and Boundary Roads in conjunction with the Shire of Perenjori. With over 815 km of unsealed roads to maintain within the Shire, our graders drivers consistently ensure the maintenance of these roads is a top priority. Additionally, we have completed street drainage projects on Winfield and Stokes Roads.

Ready-to-go commercial and industrial facilities

The Industrial Units have seen two new tenants, Wallace Plumbing and Gas and Terraform Contracting as well as continuing to be the location of the Morawa Community Gym

Enhance partnerships and alliances

The Shire maintains strong partnerships with multiple commercial operators including GSBC for our building services, Jetline for footpath construction and Rowe contracting for road works. We have also partnered with REED WA for the future management of the Early Childhood Education Centre, and continue to work closely with the Mid-West Development Commission, multiple government agencies, and neighbouring local shires.

Governance & Statutory Reporting Standards

Disability Access & Inclusion Plan (DAIP)

Section 29 (2) The Disability Services Act WA 1993 (amended 2004) requires all local governments to develop, maintain and implement a Disability Access and Inclusion Plan (DAIP) each year. DAIP's benefit everyone in the community especially people with disability, the elderly, families and carers, and people from culturally and linguistically diverse backgrounds.

The Act also requires annual reporting on the DAIP progress to the Department of Communities and to provide details of activity in annual reports.



The Shire adopted its new Disability Access and Inclusion Plan 2024–2029 during the reporting year, following a process that included internal review, community consultation, and input from key stakeholders to ensure the plan reflected local needs and expectations. The draft DAIP was made available for public comment and finalised before being formally endorsed by Council, establishing strengthened priorities for accessibility, inclusion and community participation.

The Shire continued to advance the implementation of its Disability Access and Inclusion Plan 2024–2029, with all strategies remaining active and progress underway across all seven DAIP outcome areas. Compared to 2023–24, the Shire strengthened its internal processes, with increased use of accessible event planning tools, and ongoing reviews of ACROD parking, footpaths and community facilities.

Significant achievements this year included upgrades to the Morawa Recreation Centre and art gallery, improving universal access and lighting, and securing additional funding for ongoing footpath accessibility improvements, building on the groundwork completed in 2023–2024

The Shire also expanded accessible communications, updating website content, improving navigability, and ensuring promotional materials follow accessible formats and plain-language guidelines.

Overall, the Shire maintained steady progress across all DAIP outcomes, demonstrating continued commitment to removing barriers, improving accessibility, and ensuring inclusion across services, events, infrastructure and communication.

Inclusive Events

Beyond ensuring accessibility across Council-owned buildings and facilities, the Shire also aims to create an environment where all individuals, regardless of their abilities, backgrounds or circumstances, are valued, respected, and supported to participate and contribute. This commitment extends to the way we design our community events, which are deliberately planned to reflect the diversity of our community.

Our events cater to a wide range of ages, abilities and cultural backgrounds, ensuring that everyone has the opportunity to be involved in a meaningful way.

To support inclusive events, the Shire follows established procedures that help remove barriers to participation. This includes holding events in accessible venues, providing event information across various channels in clear and plain language, incorporating emergency and safety planning that considers different needs, and ensuring staff and volunteers are trained to support attendees appropriately. These practices help ensure our events are welcoming, safe and inclusive for all community members.

This approach guided key events during the year, such as Seniors week activities, Youth Week activities, Biennial art awards, and the Midwest NAIDOC celebrations, among others, ensuring they were welcoming and inclusive for all attendees.



Governance & Statutory Reporting Standards



Public Interest Disclosure

The Shire of Morawa is committed to fostering a culture of transparency and accountability in line with the Public Interest Disclosure Act 2003 (the Act) and the associated Code established by the Commissioner for Public Sector Standards.

The Public Interest Disclosure framework is designed to achieve two main goals:

- To encourage the reporting of corrupt or improper conduct by government officials and in the use of public monies.
- To provide protection to those who make disclosures against reprisals, civil, and criminal liability.

Making a Disclosure

- Disclosures relating to the Shire of Morawa should be referred to the Shire of Morawa's Public Interest Disclosure Officer.
- Disclosures can be made about Shire Officers and/or Elected Members.

The Public Interest Disclosure Officer is legally required under the Act to ensure all disclosures are handled with strict confidentiality and that the person making the disclosure is provided adequate protection from any form of reprisal.

The Shire of Morawa received no Public Interest Disclosures during the 2024–2025 reporting year.

Record Keeping Plan

The Shire of Morawa is committed to maintaining accessible, efficient, and compliant record keeping practices. We adhere strictly to relevant legislation, including the State Records Act 2000 (WA).

Our established Record Keeping Plan (RKP) includes a comprehensive Records Management Procedure Manual. This manual details specific procedures, addresses management issues, and clearly defines staff roles and responsibilities for records.

We are dedicated to maintaining a high standard of record keeping and are scheduled to review and update the RKP during the 2025-2026 financial year to ensure continuous improvement and best practice.

Governance & Statutory Reporting Standards



Freedom of Information Act 1992

National Competition Policy

In 1995, the Council of Australian Government entered into agreements known as the National Competition Policy. The Policy is a whole of government approach to bring about reform in the public sector to encourage government to become more competitive.

Local Government will mainly be affected where it operates significant business activities (defined as one that generates an annual income from fees and charges exceeding \$200,000) that compete or could compete with private sector business. The Shire of Morawa does not operate any such businesses.

A review of the Local Laws found that they had no impact on the competition across the Shire.

The Shire of Morawa is committed to public transparency and accountability in its decision-making and governance.

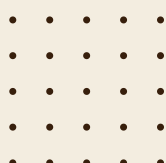
The Shire's affairs are governed by seven (7) elected members. The Council typically meets on the Third Thursday of each month, excluding January. These meetings are open to the public, and the dates and times are advertised on the Council's website and notice boards.

In accordance with the Freedom of Information Act 1992 (WA), people have a right to apply for access to non-exempt documents held by the Shire.

Nominated documents can be inspected upon application and payment of the prescribed fee at the Shire Office, 26 Winfield Street, Morawa, during normal business hours.

Applications received are considered on the basis of the Act, which includes restrictions such as not contravening the privacy rights of any individual. All applications are subject to an administrative charge in accordance with the Act.

The Shire of Morawa received no Freedom of Information requests during the 2024-2025 reporting year.

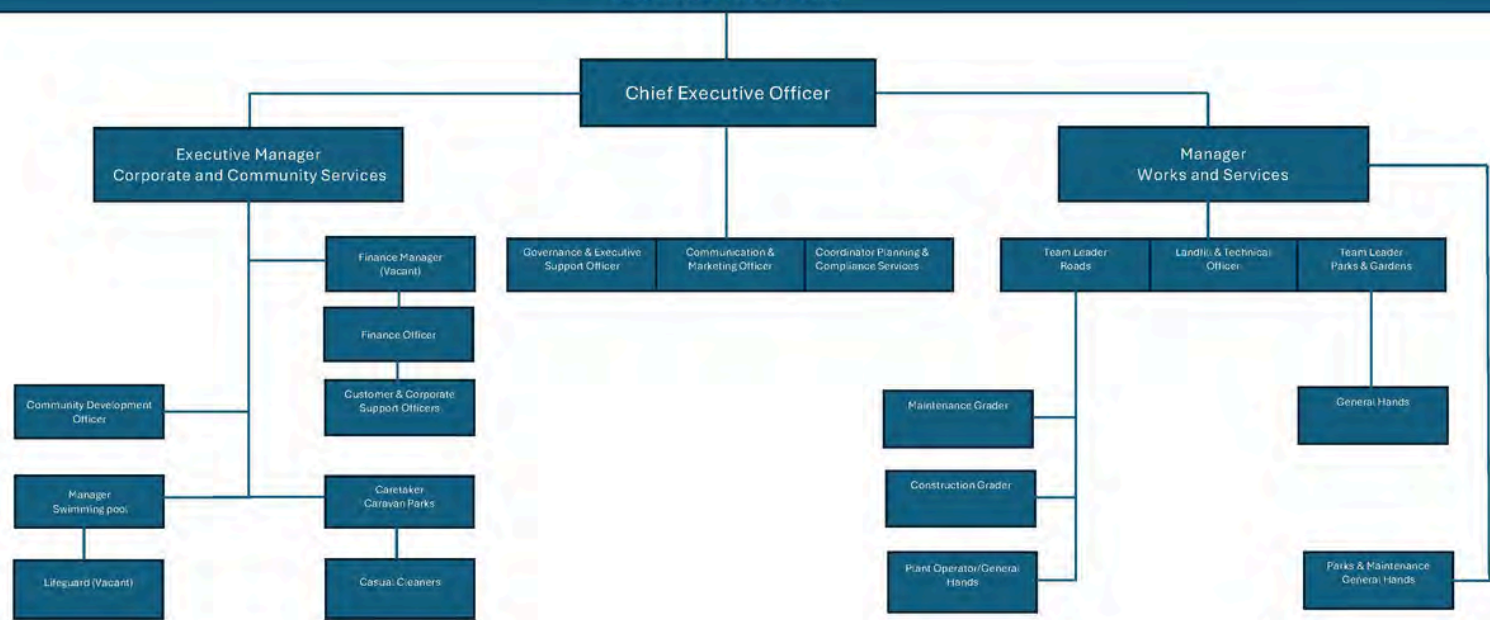


Organisational Chart

SHIRE OF MORAWA
ORGANISATIONAL STRUCTURE



ELECTED MEMBERS



Employee Payments

For the purpose of Regulation 19B of the Local Government (Administration) Regulations 1996 the following information is required to be included in Council's Annual Report:

The number of employees of the Shire of Morawa entitled to an annual salary:

- Of \$130,000 or more; and
- That falls within each band of \$10,000 over \$130,000.

There was one employee entitled to an annual salary of \$130,000 or more during 2024-2025.

This salary range was between \$160,000 and \$169,999.

Shire Staffing

The Shire of Morawa had a total of 34 employees as at 30 June 2025. This figure reflects the organisation's workforce capacity at the conclusion of the 2024-25 financial year.

The Shire is one of the largest employers in Morawa, with a diverse workforce that includes Management, Administration staff, cleaners, outside staff as part of our Parks and Gardens and maintenance team and Road Maintenance and Construction personnel.

Morawa Shire Councillors



Shire President

Cr Karen Chappel

Elected Member since – 2005

President since – 2009

Term Expires – 2029

Email: karen.chappel@morawa.wa.gov.au

Committees/ Boards and Advisory Groups:

The Australian Black Spot Consultative Panel WA, Pathways to Politics Advisory Committee, President & Voting Delegate of Northern Country Zone, Audit & Risk Management Committee, President WALGA, Morawa Sinosteel Future Fund Committee, Northern Country Zone Committee LG House Trust, LG Insurance Scheme, ALGA, State Roads Fund to LG Advisory Committee



Deputy Shire President

Cr Ken Stokes

Elected Member since – 2009

Deputy President since – 2022

Term Expires – 2029

Email: ken.stokes@morawa.wa.gov.au

Committees/ Boards and Advisory Groups:

Audit & Risk Management Committee Regional Road Group – North Midlands Morawa, Sinosteel Future Fund Committee, Voting Delegate for Northern Country Zone, LG representative for Development Assessment Panel



Cr Debra Collins

Elected Member since – 2013

Term Expires – 2025

Email: debra.collins@morawa.wa.gov.au

Committees / Boards / Advisory Groups:

Audit & Risk Management Committee Delegate of the Local Emergency Management Committee, LG representative for Development Assessment Panel



Cr Mark Coaker

Elected Member since – 2022

Term Expires – 2029

Email: mark.coaker@morawa.wa.gov.au

Committees / Boards / Advisory Groups:

Chair of the Local Emergency Management Committee, LG representative for Development Assessment Panel.

Morawa Shire Councillors



Cr Grant Chadwick

Elected Member since - 2023

Term Expires - 2027

Email: grant.chadwick@morawa.wa.gov.au

Committees / Boards / Advisory Groups:

Regional Road Group- North Midlands



Cr Diana North

Elected Member since - 2023

Term Expires - 2027

Email: diana.north@morawa.wa.gov.au

Committees / Boards / Advisory Groups:

Audit & Risk management Committee



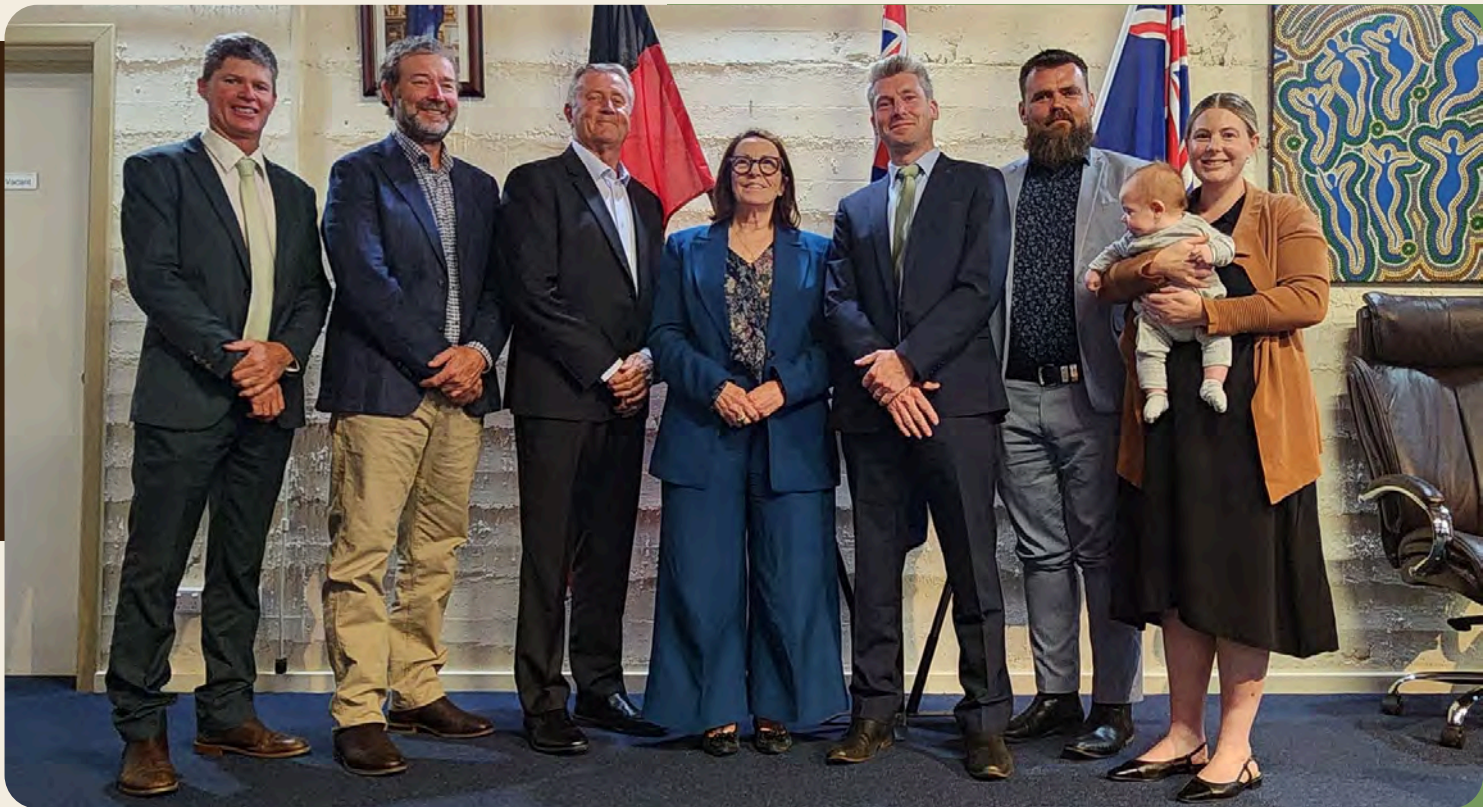
Cr Dean Clemson

Elected Member since - 2024

Term Expires - 2027

Email: dean.clamson.wa.gov.au

Governance & Statutory Reporting Standards



ELECTED MEMBER BUDGET 2024-2025

President's Allowance	\$18,126
Deputy President's Allowance	\$4,532
Councillors Meeting Attendance Fees	\$68,224
Other Expenses	\$10,200
Travel and Accommodation Expenses	\$6,000
Total	
\$107,082	

Council Meeting Attendance & Training Schedule

ELECTED MEMBER	Ordinary Council Meeting	Special Council Meeting	Audit & Risk Meeting	Annual Electors Meeting
Cr K. Chappel	10/11	04/04	03/03	01/01
Cr K. Stokes	10/11	04/04	03/03	01/01
Cr D. Collins	11/11	03/04	00/03	01/01
Cr M. Coaker	11/11	03/04	-	01/01
Cr G.Chadwick	10/11	04/04	-	01/01
Cr D. North	10/11	04/04	01/03	01/01
Cr D. Clemson	11/11	03/04	-	01/01

COUNCILLOR TRAINING	Serving on Council	Understanding Local Govt	Meeting Procedures	Conflicts of Interest	Understanding Financial Reports & Budgets
Cr K.Chappel	Completed	Completed	Completed	Completed	Completed
Cr K. Stokes	Completed	Completed	Completed	Completed	Completed
Cr D.Collins	Completed	Completed	Completed	Completed	Completed
Cr M. Coaker	Completed	Completed	Completed	Completed	Completed
Cr G. Chadwick	Completed	In Progress	Completed	Completed	Completed
Cr D. North	Completed	Completed	Completed	Completed	Completed
Cr D. Clemson	In Progress	In Progress	In Progress	In Progress	In Progress

Community Engagement Activities & Outcomes

The Shire maintained and strengthened partnerships with key local organisations to enhance the delivery of services and information to the community. These partnerships played an important role in improving outreach, supporting joint initiatives and ensuring residents remained connected to available programs and supports.



Morawa Youth Centre

The Youth Centre continued to play an important role in youth engagement by delivering after-school drop-in services and a variety of school holiday programs.

The Centre worked closely with local organisations, external facilitators and volunteers including Desert Blue Connect, Fair Game, Blue Light WA, Infinity Skate and North Midlands to provide activities that support social connection, wellbeing and skills development.

The Youth Centre remains a valuable community hub, offering a safe and supportive space for young people to participate, learn and build positive relationships.



Town Teams Do Over Inception workshop

The Shire partnered with the Town Team Movement to deliver the Morawa Do-Over Inception Workshop, a community-building initiative designed to bring residents, businesses and local leaders together to identify positive actions to improve Morawa.

Held on 14 September, the workshop engaged participants in collaborative idea-sharing, quick-win project planning, and hands-on activities that encouraged creativity and local problem-solving.

Attendees explored new approaches to activating community spaces and helped shape future priorities for Morawa's Town-Centre and neighborhood improvements. The workshop forms the foundation for a broader Do-Over program, aimed at empowering community-led action and fostering a more vibrant, connected Morawa.

Grant Funded Events

The majority of the Shire's events are funded through successful grant applications. This external funding enables us to deliver a diverse and engaging calendar of community events while reducing the financial impact on our own operational budget.

Below is a breakdown of some of our Grant Funded events for the financial year.



Department of Transport Bike Week Grant (\$1,200)

Held on 6 October 2024 at the Morawa Sports Oval, the event featured a community bike ride, treasure hunt, obstacle course, slow-cycle race, and a Safe Riding Workshop focused on improving road safety awareness among local families. Although attendance was lower due to competing events, the program had a strong positive impact, increasing participants' confidence, safety knowledge and physical activity. Activities were well received, with parents and young riders highlighting the value of hands-on learning and the enjoyable, inclusive environment created on the day.

Department of Communities Youth Week Grant (\$3,000)

The Youth Week WA grant enabled the Shire of Morawa to deliver a series of free, high-quality activities for local young people, including a wellness session with Desert Blue Connect, a sports day, an art day, and a community talent show. The funding covered materials, equipment and prizes, allowing all participants to take part without cost barriers. Parents, staff and young people provided very positive feedback, noting strong engagement, boosted confidence, and pride in the creativity showcased throughout the week. The grant was essential in making the program inclusive, impactful and well-attended.



Department of Creative Industries, Tourism and Sport (CITS) Sustainability and Community Youth Engagement Grant (\$14,280)

The Youth Morawa Skills Clinics were successfully delivered in partnership with the Morawa Youth Centre, Carey Right Track Foundation and Infinity Skate, offering a series of basketball and skateboarding sessions for young people across January and April 2025.

Across 12 clinics, the program recorded strong participation from local youth, supported by planning sessions informed by surveys and stakeholder engagement. The project also contributed to staff development in planning, risk management, communication and grant administration. All child safety, reporting and acknowledgement requirements were met, and the project was delivered within the agreed timelines and budget.



Grant Funded Events



National Indigenous Australians Agency (NIAA) NAIDOC Week Grant (\$25,000)

The Shire partnered with local schools, Elders and regional organisations to deliver the Midwest NAIDOC Event 2024, held in Morawa and celebrating the theme Keep the Fire Burning – Blak, Loud and Proud. The day brought together families, students and cultural leaders for a march to Town Square, a Welcome to Country, guest speakers including Hon. Hannah Beazley, Dr. Charmaine Papertalk Green and Alicia Janz, and performances by MDHS students and the Binmaga Yamaji Dance Group. A range of cultural and educational activities—including wildlife displays, storytelling, puppet-making workshops and community wellbeing stalls—supported learning, connection and celebration across the region. The event successfully strengthened cultural pride, regional participation and community relationships, reinforcing Morawa’s role as a central gathering place for Yamatji families and partner towns.



**KEEP THE FIRE
BURNING!
BLAK, LOUD
AND PROUD**
7-14 JULY 2024



COTA WA Seniors Week Grant Income (\$1,000)

Hosting a series of activities designed to foster social connection and wellbeing for older residents. Events included a Games Day, a clay-sculpting session and a movie night, engaging 24 participants across multiple venues in Morawa. Activities were well received, with strong participation in Games Day and positive intergenerational interaction during the sculpting workshop. Feedback highlighted the value of creating opportunities for seniors to connect, stay active and engage creatively, with the program helping identify future opportunities for youth-senior collaboration and continued demand for social activities in the community.



Expenditure Snapshot



The below list provides a snapshot of some of the capital and operating expenditures and initiatives that the Shire delivered during 2024- 2025.



Resheeting rural roads/renewal of rural & urban roads and road maintenance*

\$4,556,642M



Beautifying parks, gardens, open spaces and the Wildflower Park Playground

\$640,023K



Landfill, sewerage facilities and rubbish collection, cemetery works, airport.

\$657,089K



Maintaining our sport and leisure facilities

\$996,089K



Interim Depot Replacement Works

\$223k



Caravan Park and Tourism*

\$332,483K



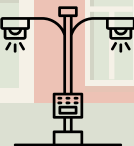
Fire and Ranger Services*

\$153,006K



Youth Centre and Community Events*

\$302,284



Solomon Terrace Precinct Redevelopment

\$261K



Plant Replacement

\$597k

**Includes funding from Federal/State Government*

Capital Works Program

The improvement of our existing infrastructure has been a central priority in this year's budget, with a number of key projects set to continue into the 2025-2026 financial year. We are also looking forward to the commencement of construction on the \$3.7 million Early Childhood Education Centre, a significant investment in the future of our community.



Roads Program

Morawa-Yalgoo Road

Widening and sealing works.

Nanekine Road

Clearing permits underway.

Construction planned for 2025/2026

Black Spot Funding Project

Evaside Road and Stephens Road
Intersection

Clearing permits underway.

Construction planned for 2025/2026.

Gravel Sheeting Program (Various Roads)

Gravel sheeting works undertaken on:

Collins Road

Norton Road

Koolanooka South Road

Stephens Road

White Road



Grant Funding – Local Roads and Community Infrastructure Program (LRCIP)

Project A – Winfield Street

Significant drainage upgrades were completed, including installation of culverts and pipes to prevent flooding along the main street.

This project utilised a portion of the LRCIP grant funding.

Project B – Solomon Terrace

Major enhancements were delivered, including:

- Installation of solar lighting
- Construction of new footpaths
- Development of a new sealed parking area

Ongoing works include the installation of CCTV systems in the area.

Other Completed Projects

Replacement of the Morawa Recreation Centre Roof

Interim Depot Replacement Works







Financial Performance



Expenditure

Operating Expenditure was \$8.052M. Most categories of expenditure were less than the approved budget with the most significant savings in materials and contracts.

Major areas of Capital Expenditure included:

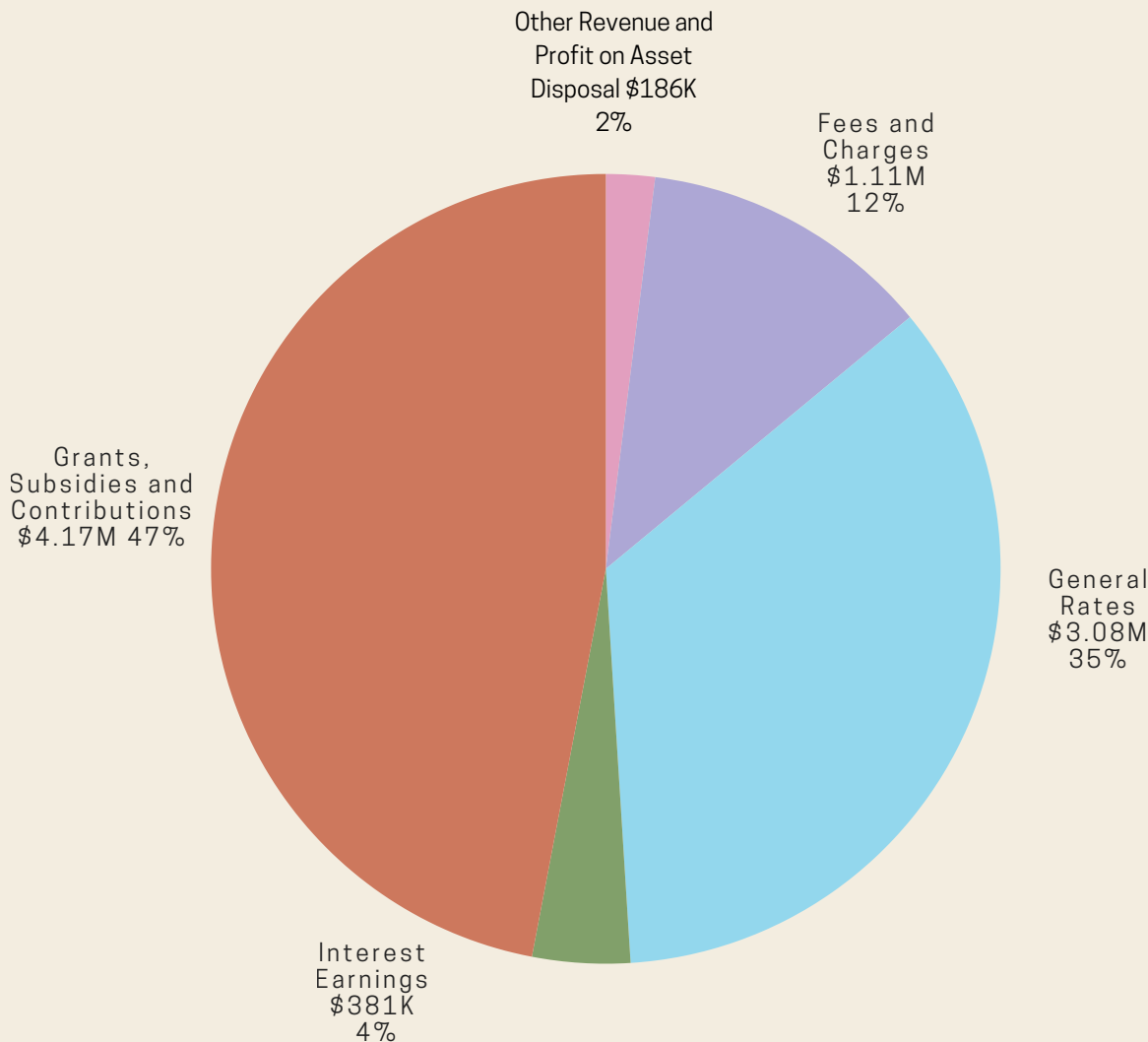
		2024 Actuals	2025 Actuals
	Footpaths and Cycleways	\$122K	\$70K
	Land and Buildings	\$391K	\$404K
	Other Infrastructure	\$402K	\$319K
	Parks and Gardens	\$113K	\$167K
	Plant and Equipment	\$841K	\$167K
	Roads	\$1.38M	\$1.84M

Financial Highlights










Revenue:

Operating Revenue generated for 2024-2025 year was \$7.24M. Grant and Interest revenue were both higher than budgeted for the Financial Year.



Financial Summary

2023/2024 Financial Year		2024/2025 Financial Year
Total Assets \$104,315,908		Total Assets \$105,089,450
Total Liabilities \$2,150,589		Total Liabilities \$2,074,545
Equity/Net Assets \$102,165,319		Equity/Net Assets \$103,014,905
Operating Revenue \$7,072,391		Operating Revenue \$7,058,840
Operating Expenditure \$7,062,198		Operating Expenditure \$8,052,106
Operating Surplus/ (Deficit) \$2,996,671		Operating Surplus/ (Deficit) \$2,138,966
Non-Operating Revenue \$2,033,943		Non-Operating Revenue \$1,842,852
Capital Expenditure \$3,103,497		Capital Expenditure \$6,578,641
Cash Backed Reserves \$7,067,167		Cash Backed Reserves \$7,740,798

Financial Position:

The Shire of Morawa's financial position remains strong and stable, despite undertaking significant capital expenditure during the 2024-2025 financial year. We successfully progressed major repair and renewal works at the Recreation Centre and key road asset renewal projects, ensuring our infrastructure continues to serve the needs of the community while simultaneously planning for future strategic projects.

In response to the State Government property revaluation that led to increased rates for many residents, the Shire demonstrated support by waiving interest charges for those utilising instalment and payment plans.

Our operational activities rely on multiple revenue streams, with Grants being the largest contributor to income. As a final net result, the Shire achieved an operating surplus of \$850,000 for the 2024-2025 financial year, primarily attributed to savings made within the Materials and Contracts budget.

SHIRE OF MORAWA
FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

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The Shire of Morawa conducts the operations of a local government with the following community vision:

The Shire's vision is to be a welcoming and inclusive community that embraces what makes it unique, offering livability, variety, and opportunity for all.

Principal place of business:
26 Winfield Street
MORAWA WA 6623

**SHIRE OF MORAWA
FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025**

*Local Government Act 1995
Local Government (Financial Management) Regulations 1996*

Statement by CEO

The accompanying financial report of the Shire of Morawa has been prepared in compliance with the provisions of the *Local Government Act 1995* from proper accounts and records to present fairly the financial transactions for the reporting period ended 30 June 2025 and the financial position as at 30 June 2025.

At the date of signing this statement the particulars included in the financial report are not misleading or inaccurate.

Signed on the 27th day of November 2025



CEO

Marty Symmons
Name of CEO



SHIRE OF MORAWA
STATEMENT OF COMPREHENSIVE INCOME
FOR THE YEAR ENDED 30 JUNE 2025

	Note	2025 Actual \$	2025 Budget \$	2024 Actual \$
Revenue				
Rates	2(a),24	3,079,289	3,093,700	2,883,149
Grants, subsidies and contributions	2(a)	2,309,005	1,493,982	2,780,586
Fees and charges	2(a)	1,105,452	1,084,125	960,372
Interest revenue	2(a)	380,649	326,001	326,108
Other revenue	2(a)	184,445	98,000	122,176
		7,058,840	6,095,808	7,072,391
Expenses				
Employee costs	2(b)	(2,371,814)	(2,422,079)	(1,855,750)
Materials and contracts		(2,484,824)	(2,993,706)	(2,506,368)
Utility charges		(406,096)	(399,264)	(350,652)
Depreciation		(2,333,542)	(2,340,527)	(1,926,903)
Finance costs	2(b)	(16,707)	(12,025)	(12,500)
Insurance		(259,677)	(306,423)	(270,013)
Other expenditure	2(b)	(179,446)	(171,832)	(140,012)
		(8,052,106)	(8,645,856)	(7,062,198)
		(993,266)	(2,550,048)	10,193
Capital grants, subsidies and contributions	2(a)	1,860,056	2,784,819	2,032,682
Profit on asset disposals		44,046	35,520	0
Loss on asset disposals		(58,586)	(29,248)	0
Fair value adjustments to financial assets at fair value through profit or loss	4(b)	(2,664)	0	1,261
		1,842,852	2,791,091	2,033,943
Net result for the period		849,586	241,043	2,044,136
Other comprehensive income for the period				
Nil				
Total comprehensive income for the period		849,586	241,043	2,044,136

This statement is to be read in conjunction with the accompanying notes.



SHIRE OF MORAWA
STATEMENT OF FINANCIAL POSITION
AS AT 30 JUNE 2025

	Note	2025 \$	2024 \$
CURRENT ASSETS			
Cash and cash equivalents	3	8,228,203	10,794,091
Trade and other receivables	5	796,739	557,398
Other financial assets	4(a)	2,100,000	0
Inventories	6	6,626	16,779
Other assets	7	161,213	162,933
TOTAL CURRENT ASSETS		11,292,781	11,531,201
NON-CURRENT ASSETS			
Trade and other receivables	5	56,183	15,890
Other financial assets	4(b)	59,715	62,378
Property, plant and equipment	8	30,708,941	29,998,507
Infrastructure	9	62,971,830	62,707,932
TOTAL NON-CURRENT ASSETS		93,796,669	92,784,707
TOTAL ASSETS		105,089,450	104,315,908
CURRENT LIABILITIES			
Trade and other payables	11	1,320,517	409,369
Contract liabilities	12	31,525	0
Capital grant/contributions liabilities	12	124,575	1,070,215
Borrowings	13	29,841	28,985
Employee related provisions	14	194,417	235,119
TOTAL CURRENT LIABILITIES		1,700,875	1,743,688
NON-CURRENT LIABILITIES			
Borrowings	13	332,248	362,088
Employee related provisions	14	41,422	44,813
TOTAL NON-CURRENT LIABILITIES		373,670	406,901
TOTAL LIABILITIES		2,074,545	2,150,589
NET ASSETS		103,014,905	102,165,319
EQUITY			
Retained surplus		38,977,828	38,801,873
Reserve accounts	27	7,740,798	7,067,167
Revaluation surplus	15	56,296,279	56,296,279
TOTAL EQUITY		103,014,905	102,165,319

This statement is to be read in conjunction with the accompanying notes.



SHIRE OF MORAWA
STATEMENT OF CHANGES IN EQUITY
FOR THE YEAR ENDED 30 JUNE 2025

	Note	Retained surplus	Reserve accounts	Revaluation surplus	Total equity
		\$	\$	\$	\$
Balance as at 1 July 2023		37,092,523	6,732,381	56,296,279	100,121,183
Comprehensive income for the period					
Net result for the period		2,044,136	0	0	2,044,136
Total comprehensive income for the period		2,044,136	0	0	2,044,136
Transfers from reserve accounts	27	215,128	(215,128)	0	0
Transfers to reserve accounts	27	(549,914)	549,914	0	0
Balance as at 30 June 2024		38,801,873	7,067,167	56,296,279	102,165,319
Comprehensive income for the period					
Net result for the period		849,586	0	0	849,586
Total comprehensive income for the period		849,586	0	0	849,586
Transfers from reserve accounts	27	238,208	(238,208)	0	0
Transfers to reserve accounts	27	(911,839)	911,839	0	0
Balance as at 30 June 2025		38,977,828	7,740,798	56,296,279	103,014,905

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF MORAWA
STATEMENT OF CASH FLOWS
FOR THE YEAR ENDED 30 JUNE 2025

	Note	2025 Actual \$	2024 Actual \$
CASH FLOWS FROM OPERATING ACTIVITIES			
Receipts			
Rates		2,966,195	2,848,266
Grants, subsidies and contributions		2,282,907	3,548,750
Fees and charges		1,105,452	960,372
Interest revenue		380,649	326,108
Goods and services tax received		409,014	9,042
Other revenue		184,445	116,508
		7,328,662	7,809,046
Payments			
Employee costs		(2,405,731)	(1,944,487)
Materials and contracts		(1,606,998)	(2,658,138)
Utility charges		(406,096)	(350,652)
Finance costs		(16,707)	(15,303)
Insurance paid		(259,677)	(270,013)
Goods and services tax paid		(482,912)	0
Other expenditure		(179,446)	(364,599)
		(5,357,567)	(5,603,192)
Net cash provided by operating activities		1,971,095	2,205,854
CASH FLOWS FROM INVESTING ACTIVITIES			
Payments for purchase of property, plant & equipment	8(a)	(1,666,818)	(570,278)
Payments for construction of infrastructure	9(a)	(1,911,823)	(2,533,219)
Proceeds from capital grants, subsidies and contributions		914,416	2,032,682
Proceeds from financial assets at amortised cost		(2,100,000)	0
Proceeds from financial assets at fair values through profit and loss		(1)	0
Proceeds from sale of property, plant & equipment		256,227	0
Net cash (used in) investing activities		(4,507,999)	(1,070,815)
CASH FLOWS FROM FINANCING ACTIVITIES			
Repayment of borrowings	26	(28,984)	(28,156)
Net cash (used in) financing activities		(28,984)	(28,156)
Net increase (decrease) in cash held		(2,565,888)	1,106,883
Cash at beginning of year		10,794,091	9,687,208
Cash and cash equivalents at the end of the year		8,228,203	10,794,091

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF MORAWA
STATEMENT OF FINANCIAL ACTIVITY
FOR THE YEAR ENDED 30 JUNE 2025

	Note	2025 Actual \$	2025 Budget \$	2024 Actual \$
OPERATING ACTIVITIES				
Revenue from operating activities				
General rates	24	3,068,675	3,083,035	2,872,943
Rates excluding general rates	24	10,614	10,665	10,206
Grants, subsidies and contributions		2,309,005	1,493,982	2,780,586
Fees and charges		1,105,452	1,084,125	960,372
Interest revenue		380,649	326,001	326,108
Other revenue		184,445	98,000	122,176
Profit on asset disposals		44,046	35,520	0
Fair value adjustments to financial assets at fair value through profit or loss	4(b)	(2,664)	0	1,261
		7,100,222	6,131,328	7,073,652
Expenditure from operating activities				
Employee costs		(2,371,814)	(2,422,079)	(1,855,750)
Materials and contracts		(2,484,824)	(2,993,706)	(2,506,368)
Utility charges		(406,096)	(399,264)	(350,652)
Depreciation		(2,333,542)	(2,340,527)	(1,926,903)
Finance costs		(16,707)	(12,025)	(12,500)
Insurance		(259,677)	(306,423)	(270,013)
Other expenditure		(179,446)	(142,848)	(140,012)
Loss on asset disposals		(58,586)	(29,248)	0
		(8,110,692)	(8,646,120)	(7,062,198)
Non-cash amounts excluded from operating activities	25(a)	2,317,738	2,334,255	1,937,360
Amount attributable to operating activities		1,307,268	(180,537)	1,948,814
INVESTING ACTIVITIES				
Inflows from investing activities				
Capital grants, subsidies and contributions		1,860,056	2,784,819	2,032,682
Proceeds from disposal of assets		256,227	214,000	0
		2,116,283	2,998,819	2,032,682
Outflows from investing activities				
Acquisition of property, plant and equipment	8(a)	(1,666,818)	(1,763,900)	(570,278)
Acquisition of infrastructure	9(a)	(1,911,823)	(3,126,319)	(2,533,219)
		(3,578,641)	(4,890,219)	(3,103,497)
Amount attributable to investing activities		(1,462,358)	(1,891,400)	(1,070,815)
FINANCING ACTIVITIES				
Inflows from financing activities				
Transfers from reserve accounts	27	238,208	415,000	215,128
		238,208	415,000	215,128
Outflows from financing activities				
Repayment of borrowings	26	(28,984)	(28,985)	(28,156)
Transfers to reserve accounts	27	(911,839)	(674,512)	(549,914)
		(940,823)	(703,497)	(578,070)
Amount attributable to financing activities		(702,615)	(288,497)	(362,942)
MOVEMENT IN SURPLUS OR DEFICIT				
Surplus or deficit at the start of the financial year	25(b)	2,996,671	2,360,434	2,481,614
Amount attributable to operating activities		1,307,268	(180,537)	1,948,814
Amount attributable to investing activities		(1,462,358)	(1,891,400)	(1,070,815)
Amount attributable to financing activities		(702,615)	(288,497)	(362,942)
Surplus or deficit after imposition of general rates	25(b)	2,138,966	0	2,996,671

This statement is to be read in conjunction with the accompanying notes.

SHIRE OF MORAWA
FOR THE YEAR ENDED 30 JUNE 2025
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SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

1. BASIS OF PREPARATION

The financial report of the Shire of Morawa which is a Class 4 local government comprises general purpose financial statements which have been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996* prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the *Local Government Act 1995*, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied except for disclosure requirements of:

- AASB 7 Financial Instruments Disclosures
- AASB 16 Leases paragraph 58
- AASB 101 Presentation of Financial Statements paragraph 61
- AASB 107 Statement of Cash Flows paragraphs 43 and 45
- AASB 116 Property, Plant and Equipment paragraph 79
- AASB 137 Provisions, Contingent Liabilities and Contingent Assets paragraph 85
- AASB 140 Investment Property paragraph 75(f)
- AASB 1052 Disaggregated Disclosures paragraph 11
- AASB 1054 Australian Additional Disclosures paragraph 16

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 *Leases* which would have required the Shire to measure any vested improvements at zero cost.

The *Local Government (Financial Management) Regulations 1996* provide that:

- land and buildings classified as property, plant and equipment; or
 - infrastructure; or
 - vested improvements that the local government controls;
- and measured at reportable value, are only required to be revalued every five years. Revaluing these non-financial assets every five years is a departure from AASB 116 *Property, Plant and Equipment*, which would have required the Shire to assess at each reporting date whether the carrying amount of the above mentioned non-financial assets materially differs from their fair value and, if so, revalue the class of non-financial assets.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

Critical accounting estimates and judgements

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying amounts of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

As with all estimates, the use of different assumptions could lead to material changes in the amounts reported in the financial report.

The following are estimates and assumptions that have a significant risk of causing a material adjustment to the carrying amounts of assets and liabilities within the next financial year and further information on their nature and impact can be found in the relevant note:

- Fair value measurement of assets carried at reportable value including:
 - Property, plant and equipment - note 8
 - Infrastructure - note 9
- Expected credit losses on financial assets - note 5
- Measurement of employee benefits - note 14

Fair value hierarchy information can be found in note 23

The local government reporting entity

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies appears at Note 28 of the financial report.

Initial application of accounting standards

During the current year, the following new or revised Australian Accounting Standards and Interpretations were applied for the first time.

- AASB 2020-1 *Amendments to Australian Accounting Standards*
 - *Classification of Liabilities as Current or Non-current*
- AASB 2022-5 *Amendments to Australian Accounting Standards*
 - *Lease Liability in a Sale and Leaseback*
- AASB 2022-6 *Amendments to Australian Accounting Standards*
 - *Non-current Liabilities with Covenants*
- AASB 2023-3 *Amendments to Australian Accounting Standards*
 - *Disclosure of Non-current Liabilities with Covenants: Tier 2*
- AASB 2024-1 *Amendments to Australian Accounting Standards*
 - *Supplier Finance Arrangements: Tier 2 Disclosures*
- AASB 2023-1 *Amendments to Australian Accounting Standards*
 - *Supplier Finance Arrangements*

These amendments are not expected to have any material impact on the financial report on initial application.

- AASB 2022-10 *Amendments to Australian Accounting Standards*
 - *Fair Value Measurement of Non-Financial Assets of Not-for-Profit Public Sector Entities*

These amendment may result in changes to the fair value of certain non-financial assets on revaluation. The impact has not been quantified as it is not considered practicable to determine the amount of the difference in fair value attributable to the change in the standard.

New accounting standards for application in future years

The following new accounting standards will have application to local government in future years:

- AASB 2014-10 *Amendments to Australian Accounting Standards*
 - *Sale or Contribution of Assets between an Investor and its Associate or Joint Venture*
- AASB 2024-4b *Amendments to Australian Accounting Standards*
 - *Effective Date of Amendments to AASB 10 and AASB 128 [deferred AASB 10 and AASB 128 amendments in AASB 2014-10 apply]*
- AASB 2022-9 *Amendments to Australian Accounting Standards*
 - *Insurance Contracts in the Public Sector*
- AASB 2023-5 *Amendments to Australian Accounting Standards*
 - *Lack of Exchangeability*
- AASB 18 (FP) *Presentation and Disclosure in Financial Statements*
 - *(Appendix D) [for for-profit entities]*
- AASB 18 (NFP/super) *Presentation and Disclosure in Financial Statements*
 - *(Appendix D) [for not-for-profit and superannuation entities]*
- AASB 2024-2 *Amendments to Australian Accounting Standards*
 - *Classification and Measurement of Financial Instruments*
- AASB 2024-3 *Amendments to Australian Accounting Standards*
 - *Annual Improvements Volume 11*

These amendments are not expected to have any material impact on the financial report on initial application.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

2. REVENUE AND EXPENSES

(a) Revenue

Contracts with customers

Recognition of revenue is dependant on the source of revenue and the associated terms and conditions associated with each source of revenue and recognised as follows:

Revenue category	Nature of goods and services	When obligations typically satisfied	Payment terms	Returns/refunds/warranties	Timing of revenue recognition
Grants, subsidies and contributions	Community events, minor facilities, research, design, planning evaluation and services	Over time	Fixed terms transfer of funds based on agreed milestones and reporting	Contract obligation if project not complete	Output method based on project milestones and/or completion date matched to performance obligations
Fees and charges - licences, registrations, approvals	Building, planning, development and animal management.	Single point in time	Full payment prior to issue	None	On payment of the licence, registration or approval
Fees and charges - waste management entry fees	Waste treatment, recycling and disposal service at disposal sites	Single point in time	Payment in advance at gate or on normal trading terms if credit provided	None	On entry to facility
Fees and charges - airport landing charges	Permission to use facilities and runway	Single point in time	Monthly in arrears	None	On landing/departure event
Fees and charges - sale of stock	Aviation fuel, kiosk and visitor centre stock	Single point in time	In full in advance, on 15 day credit	Refund for faulty goods	At point of sale
Other revenue - private works	Contracted private works	Single point in time	Monthly in arrears	None	At point of service

Consideration from contracts with customers is included in the transaction price.

Revenue recognition

Rate revenue was recognised from the rate record as soon as practicable after the Shire resolved to impose rates in the financial year as well as when the rate record was amended to ensure the information in the record was current and correct.

Revenue recognised during the year under each basis of recognition by nature of goods or services is provided in the table below:

For the year ended 30 June 2025

Nature	Contracts with customers	Capital grant/contributions	Statutory requirements	Other	Total
	\$	\$	\$	\$	\$
Rates	0	0	3,068,675	10,614	3,079,289
Grants, subsidies and contributions	0	0	0	2,309,005	2,309,005
Fees and charges	1,105,452	0	0	0	1,105,452
Interest revenue	0	0	0	380,649	380,649
Other revenue	0	0	0	184,445	184,445
Capital grants, subsidies and contributions	0	1,860,056	0	0	1,860,056
Total	1,105,452	1,860,056	3,068,675	2,884,713	8,918,896

For the year ended 30 June 2024

Nature	Contracts with customers	Capital grant/contributions	Statutory requirements	Other	Total
	\$	\$	\$	\$	\$
Rates	0	0	2,872,943	10,206	2,883,149
Grants, subsidies and contributions	0	0	0	2,780,586	2,780,586
Fees and charges	960,372	0	0	0	960,372
Interest revenue	0	0	0	326,108	326,108
Other revenue	0	0	0	122,176	122,176
Capital grants, subsidies and contributions	0	2,032,682	0	0	2,032,682
Total	960,372	2,032,682	2,872,943	3,239,076	9,105,073

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

2. REVENUE AND EXPENSES (Continued)

(a) Revenue (Continued)

Note	2025 Actual \$	2024 Actual \$
Interest revenue		
Interest on reserve account	284,979	204,509
Trade and other receivables overdue interest	33,259	29,409
Other interest revenue	62,411	92,190
	380,649	326,108

The 2025 original budget estimate in relation to:
Trade and other receivables overdue interest was \$29,300.

Fees and charges relating to rates receivable

Charges on instalment plan	2,220	1,134
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The 2025 original budget estimate in relation to:
Charges on instalment plan was \$1,500.

(b) Expenses

Auditors remuneration

- Audit of the Annual Financial Report	44,942	43,300
- Other services – grant acquittals	6,500	2,520
	51,442	45,820

Employee Costs

Employee benefit costs	2,008,907	1,573,283
Other employee costs	362,907	282,467
	2,371,814	1,855,750

Finance costs

Interest and financial charges paid/payable for lease liabilities and financial liabilities not at fair value through profit or loss	16,707	12,500
	16,707	12,500

Other expenditure

Sundry expenses	179,446	140,012
	179,446	140,012

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

3. CASH AND CASH EQUIVALENTS

Note	2025	2024
	\$	\$
Cash at bank and on hand	8,228,203	8,694,091
Term deposits	0	2,100,000
Total cash and cash equivalents	8,228,203	10,794,091
Held as		
- Unrestricted cash and cash equivalents	2,384,474	2,618,129
- Restricted cash and cash equivalents	16 5,843,729	8,175,962
	8,228,203	10,794,091

MATERIAL ACCOUNTING POLICIES

Cash and cash equivalents

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value.

Bank overdrafts are reported as short term borrowings in current liabilities in the statement of financial position.

Term deposits are presented as cash equivalents if they have a maturity of three months or less from the date of acquisition and are repayable with 24 hours notice with no loss of interest.

Restricted financial assets

Restricted financial asset balances are not available for general use by the local government due to externally imposed restrictions. Restrictions are specified in an agreement, contract or legislation. This applies to reserve accounts, unspent grants, subsidies and contributions and unspent loans that have not been fully expended in the manner specified by the contributor, legislation or loan agreement.

4. OTHER FINANCIAL ASSETS

(a) Current assets

Note	2025	2024
	\$	\$
Financial assets at amortised cost	2,100,000	0
	2,100,000	0
Other financial assets at amortised cost		
Term deposits	2,100,000	0
	2,100,000	0
Held as		
- Restricted other financial assets at amortised cost	16 2,100,000	0
	2,100,000	0

(b) Non-current assets

Financial assets at fair value through profit or loss	59,715	62,378
	59,715	62,378
Financial assets at fair value through profit or loss		
Units in Local Government House Trust - opening balance	62,379	61,117
Movement attributable to fair value increment	(2,664)	1,261
Units in Local Government House Trust - closing balance	59,715	62,378

Fair value of financial assets at fair value through profit or loss is determined from the net asset value of the units held in the Trust at balance date as compiled by WALGA.

MATERIAL ACCOUNTING POLICIES

Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows; and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Fair values of financial assets at amortised cost are not materially different to their carrying amounts, since the interest receivable on those assets is either close to current market rates or the assets are of a short term nature. Non-current financial assets at amortised cost fair values are based on discounted cash flows using a current market rates. They are classified as level 2 fair values in the fair value hierarchy (see Note 23 (i)) due to the observable market rates.

Interest received is presented under cashflows from operating activities in the Statement of Cash Flows where it is earned from financial assets that are held for cash management purposes.

Financial assets at fair value through profit or loss

The Shire classifies the following financial assets at fair value through profit or loss:

- debt investments which do not qualify for measurement at either amortised cost or fair value through other comprehensive income.
- equity investments which the Shire has elected to recognise as fair value gains and losses through profit or loss.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

5. TRADE AND OTHER RECEIVABLES

Note	2025	2024
	\$	\$
Current		
Rates and statutory receivables	586,739	478,919
Trade receivables	106,204	44,521
Other receivables	0	4,060
GST receivable	128,808	54,910
Allowance for credit losses of rates and statutory receivables	(22,769)	(22,769)
Allowance for credit losses of trade receivables	(2,243)	(2,243)
	796,739	557,398
Non-current		
Rates and statutory receivables	56,183	15,890
	56,183	15,890

Disclosure of opening and closing balances related to contracts with customers

Information about receivables from contracts with customers along with financial assets and associated liabilities arising from transfers to enable the acquisition or construction of recognisable non-financial assets is:

Note	30 June 2025 Actual	30 June 2024 Actual	1 July 2023 Actual
	\$	\$	\$
Contract assets	7 124,919	78,033	
Allowance for credit losses of trade receivables	5 (2,243)	(2,243)	(2,243)
Total trade and other receivables from contracts with customers	122,676	75,790	(2,243)

MATERIAL ACCOUNTING POLICIES

Rates and statutory receivables

Rates and statutory receivables are non-contractual receivables arising from statutory requirements and include amounts due from ratepayers for unpaid rates and service charges and other statutory charges or fines.

Rates and statutory receivables are recognised when the taxable event has occurred and can be measured reliably.

Trade receivables

Trade receivables are amounts receivable from contractual arrangements with customers for goods sold, services performed or grants or contributions with sufficiently specific performance obligations or for the construction of recognisable non financial assets as part of the ordinary course of business.

Other receivables

Other receivables are amounts receivable from contractual arrangements with third parties other than contracts with customers and amounts received as grants for the construction of recognisable non financial assets.

Measurement

Trade and other receivables are recognised initially at the amount of the transaction price, unless they contain a significant financing component, and are to be recognised at fair value.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.

Due to the short term nature of current receivables, their carrying amount is considered to be the same as their fair value. Non-current receivables are indexed to inflation, any difference between the face value and fair value is considered immaterial.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

6. INVENTORIES

Note	2025	2024
Current	\$	\$
Fuel and materials	6,626	16,779
	6,626	16,779
The following movements in inventories occurred during the year:		
Balance at beginning of year	16,779	8,639
Additions to/(consumption of) inventory	(10,153)	8,140
Balance at end of year	6,626	16,779

MATERIAL ACCOUNTING POLICIES

General

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

7. OTHER ASSETS

	2025	2024
	\$	\$
Other assets - current		
Accrued income	36,294	84,900
Contract assets	124,919	78,033
	161,213	162,933

MATERIAL ACCOUNTING POLICIES

Other current assets

Other non-financial assets include prepayments which represent payments in advance of receipt of goods or services or that part of expenditure made in one accounting period covering a term extending beyond that period.

Contract assets

Contract assets primarily relate to the Shire's right to consideration for work completed but not billed at the end of the period.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

8. PROPERTY, PLANT AND EQUIPMENT

(a) Movements in balances

Movement in the balances of each class of property, plant and equipment between the beginning and the end of the current financial year.

	Assets not subject to operating lease		Total property				Plant and equipment		Total property, plant and equipment
Note	Land	Buildings	Land	Buildings	Work in progress	Total property	Furniture and equipment	Plant and equipment	
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Balance at 1 July 2023	1,013,600	26,110,987	1,013,600	26,110,987	0	27,124,587	118,965	2,865,237	30,108,789
Additions	0	403,514	0	403,514	0	403,514	0	166,764	570,278
Depreciation	0	(428,780)	0	(428,780)	0	(428,780)	(12,842)	(238,938)	(680,560)
Balance at 30 June 2024	1,013,600	26,085,721	1,013,600	26,085,721	0	27,099,321	106,123	2,793,063	29,998,507
Comprises:									
Gross balance amount at 30 June 2024	1,013,600	26,514,501	1,013,600	26,514,501	0	27,528,101	146,182	4,043,181	31,717,464
Accumulated depreciation at 30 June 2024	0	(428,780)	0	(428,780)	0	(428,780)	(40,059)	(1,250,118)	(1,718,957)
Balance at 30 June 2024	8(b)	1,013,600	26,085,721	1,013,600	26,085,721	0	27,099,321	106,123	29,998,507
Additions	0	815,670	0	815,670	229,444	1,045,114	0	621,704	1,666,818
Disposals	(10,000)	(96,617)	(10,000)	(96,617)	0	(106,617)	0	(164,150)	(270,767)
Depreciation	0	(440,692)	0	(440,692)	0	(440,692)	(11,158)	(255,858)	(707,708)
Transfers	0	0	0	0	0	0	0	22,091	22,091
Balance at 30 June 2025	1,003,600	26,364,082	1,003,600	26,364,082	229,444	27,597,126	94,965	3,016,850	30,708,941
Comprises:									
Gross balance amount at 30 June 2025	1,003,600	27,229,119	1,003,600	27,229,119	229,444	28,462,163	146,182	4,328,367	32,936,712
Accumulated depreciation at 30 June 2025	0	(865,037)	0	(865,037)	0	(865,037)	(51,217)	(1,311,517)	(2,227,771)
Balance at 30 June 2025	8(b)	1,003,600	26,364,082	1,003,600	26,364,082	229,444	27,597,126	94,965	30,708,941

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

8. PROPERTY, PLANT AND EQUIPMENT (Continued)

(b) Carrying amount measurements

Asset class	Note	Carrying amount 2025 \$	Carrying amount 2024 \$	Fair value hierarchy	Valuation technique	Basis of valuation	Date of last valuation	Inputs used
(i) Fair value - as determined at the last valuation date								
Land and buildings								
Land		934,600	944,600	2	Market approach using recent observable market data for similar properties	Independent registered valuers	June 2023	Price per hectare
Land		69,000	69,000	3	Improvements to land valued using cost approach using current replacement cost	Independent registered valuers	June 2023	Improvements to land using construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Total land	8(a)	1,003,600	1,013,600					
Buildings - non specialised		6,286,863	6,387,653	2	Market approach using recent observable market data for similar properties	Independent registered valuers	June 2023	Price per square metre
Buildings - specialised		20,077,219	19,698,068	3	Improvements to land valued using cost approach using current replacement cost	Independent registered valuers	June 2023	Improvements to land using construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Total buildings	8(a)	26,364,082	26,085,721					
(ii) Cost								
Furniture and equipment					Cost	Cost		Purchase cost
Plant and equipment					Cost	Cost		Purchase cost

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

9. INFRASTRUCTURE

(a) Movements in balances

Movement in the balances of each class of infrastructure between the beginning and the end of the current financial year.

	Infrastructure -								Total
	Infrastructure - roads	Infrastructure - footpaths	sewerage supply	Infrastructure - parks and ovals	Infrastructure - other	Infrastructure - aerodrome	Infrastructure - playgrounds	Infrastructure - dams	infrastructure
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Balance at 1 July 2023	47,501,329	579,841	2,657,403	938,099	7,939,229	630,500	204,155	970,500	61,421,056
Additions	1,843,565	70,487	0	166,878	318,887	128,299	5,103	0	2,533,219
Depreciation	(836,783)	(30,031)	(125,992)	(26,687)	(186,451)	(8,064)	(11,448)	(20,887)	(1,246,343)
Balance at 30 June 2024	48,508,111	620,297	2,531,411	1,078,290	8,071,665	750,735	197,810	949,613	62,707,932
Comprises:									
Gross balance at 30 June 2024	87,229,420	1,572,054	2,657,403	1,104,977	8,258,116	758,799	209,258	970,500	102,760,527
Accumulated depreciation at 30 June 2024	(38,721,309)	(951,757)	(125,992)	(26,687)	(186,451)	(8,064)	(11,448)	(20,887)	(40,052,595)
Balance at 30 June 2024	48,508,111	620,297	2,531,411	1,078,290	8,071,665	750,735	197,810	949,613	62,707,932
Additions	1,623,608	0	0	266,124	22,091	0	0	0	1,911,823
Depreciation	(1,291,867)	(22,480)	(43,148)	(38,326)	(187,705)	(11,195)	(11,703)	(19,410)	(1,625,834)
Transfers	0	0	0	(39,222)	17,131	0	0	0	(22,091)
Balance at 30 June 2025	48,839,852	597,817	2,488,263	1,266,866	7,923,182	739,540	186,107	930,203	62,971,830
Comprises:									
Gross balance at 30 June 2025	88,853,028	1,572,054	2,657,403	1,330,210	8,299,007	758,799	209,258	970,500	104,650,259
Accumulated depreciation at 30 June 2025	(40,013,176)	(974,237)	(169,140)	(63,344)	(375,825)	(19,259)	(23,151)	(40,297)	(41,678,429)
Balance at 30 June 2025	48,839,852	597,817	2,488,263	1,266,866	7,923,182	739,540	186,107	930,203	62,971,830

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

9. INFRASTRUCTURE (Continued)

(b) Carrying amount measurements

Asset class	Fair value hierarchy	Valuation technique	Basis of valuation	Date of last valuation	Inputs used
(i) Fair value - as determined at the last valuation date					
Infrastructure - roads	3	Cost approach using current replacement cost	Management Valuation	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - footpaths	3	Cost approach using current replacement cost	Management Valuation	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - sewerage supply	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - parks and ovals	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - other	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - aerodrome	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - playgrounds	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs
Infrastructure - dams	3	Cost approach using current replacement cost	Independent registered valuers	June 2023	Construction costs and current condition (Level 2), residual values and remaining useful life assessments (Level 3) inputs

Level 3 inputs are based on assumptions with regards to future values and patterns of consumption utilising current information. If the basis of these assumptions were varied, they have the potential to result in a significantly higher or lower fair value measurement.

During the period there were no changes in the valuation techniques used to determine the fair value of infrastructure using level 3 inputs.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

10. FIXED ASSETS

Depreciation

Depreciation rates

Typical estimated useful lives for the different asset classes for the current and prior years are included in the table below:

Asset class	Useful life
Buildings - non specialised	40-100 years
Building specialised	40-100 years
Furniture and equipment	5 to 10 years
Plant and equipment	5 to 15 years
Infrastructure - roads	20 to 80 years
Infrastructure - footpaths	50 years
Infrastructure - parks & ovals	10 to 60 years
Infrastructure - sewerage	30 to 75 years
Infrastructure - airfields	50 years
Infrastructure - dams	40 to 100 years
Infrastructure - playground equipment	5 to 15 years
Infrastructure - other	10 to 60 years

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

10. FIXED ASSETS (Continued)

MATERIAL ACCOUNTING POLICIES

Initial recognition

An item of property, plant and equipment or infrastructure that qualifies for recognition as an asset is measured at its cost.

Upon initial recognition, cost is determined as the amount paid (or other consideration given) to acquire the assets, plus costs incidental to the acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Local Government (Financial Management) Regulation 17A(5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

Individual assets that are land, buildings and infrastructure acquired between scheduled revaluation dates of the asset class in accordance with the Shire's revaluation policy, are recognised at cost and disclosed as being at reportable value.

Measurement after recognition

Plant and equipment including furniture and equipment and right-of-use assets (other than vested improvements) are measured using the cost model as required under *Local Government (Financial Management) Regulation 17A(2)*. Assets held under the cost model are carried at cost less accumulated depreciation and any impairment losses being their reportable value.

Reportable value

In accordance with *Local Government (Financial Management) Regulation 17A(2)*, the carrying amount of non-financial assets that are land and buildings classified as property, plant and equipment, infrastructure or vested improvements that the local government controls.

Reportable value is for the purpose of *Local Government (Financial Management) Regulation 17A(4)* is the fair value of the asset at its last valuation date minus (to the extent applicable) the accumulated depreciation and any accumulated impairment losses in respect of the non-financial asset subsequent to its last valuation date.

Revaluation

Land and buildings classified as property, plant and equipment, infrastructure or vested improvements that the local government controls and measured at reportable value, are only required to be revalued every five years in accordance with the regulatory framework. This includes buildings and infrastructure items which were pre-existing improvements (i.e. vested improvements) on land vested in the Shire.

Whilst the regulatory framework only requires a revaluation to occur every five years, it also provides for the Shire to revalue earlier if it chooses to do so.

For land, buildings and infrastructure, increases in the carrying amount arising on revaluation of asset classes are credited to a revaluation surplus in equity.

Decreases that offset previous increases of the same class of asset are recognised against revaluation surplus directly in equity. All other decreases are recognised in profit or loss.

Subsequent increases are then recognised in profit or loss to the extent they reverse a net revaluation decrease previously recognised in profit or loss for the same class of asset.

Depreciation

The depreciable amount of all property, plant and equipment and infrastructure, are depreciated on a straight-line basis over the individual asset's useful life from the time the asset is held ready for use. Leasehold improvements are depreciated over the shorter of either the unexpired period of the lease or the estimated useful life of the improvements.

The assets residual values and useful lives are reviewed, and adjusted if appropriate, at the end of each reporting period.

Depreciation on revaluation

When an item of property, plant and equipment and infrastructure is revalued, any accumulated depreciation at the date of the revaluation is treated in one of the following ways:

- (i) The gross carrying amount is adjusted in a manner that is consistent with the revaluation of the carrying amount of the asset; or
- (ii) Eliminated against the gross carrying amount of the asset and the net amount restated to the revalued amount of the asset.

Impairment

In accordance with *Local Government (Financial Management) Regulations 17A(4C)*, the Shire is not required to comply with *AASB 136 Impairment of Assets* to determine the recoverable amount of its non-financial assets that are land or buildings classified as property, plant and equipment, infrastructure or vested improvements that the local government controls in circumstances where there has been an impairment indication of a general decrease in asset values.

In other circumstances where it has been assessed that one or more of these non-financial assets are impaired, the asset's carrying amount is written down immediately to its recoverable amount if the asset's carrying amount is greater than its estimated recoverable amount.

Gains or losses on disposal

Gains and losses on disposals are determined by comparing proceeds with the carrying amount. These gains and losses are included in the statement of comprehensive income in the period in which they arise.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

11. TRADE AND OTHER PAYABLES

Current

Sundry creditors
 Prepaid rates
 Accrued payroll liabilities
 ATO liabilities
 Bonds and deposits held
 Accrued interest
 Accrued expenditure

2025	2024
\$	\$
824,450	190,590
75,923	40,904
38,047	28,227
49,213	48,857
46,831	38,580
2,421	0
283,632	62,211
1,320,517	409,369

MATERIAL ACCOUNTING POLICIES

Financial liabilities

Financial liabilities are initially recognised at fair value when the Shire becomes a party to the contractual provisions of the instrument.

Non-derivative financial liabilities (excluding financial guarantees) are subsequently measured at amortised cost.

Financial liabilities are derecognised where the related obligations are discharged, cancelled or expired. The difference between the carrying amount of the financial liability extinguished or transferred to another party and any consideration paid, including the transfer of non-cash assets or liabilities assumed, is recognised in profit or loss.

Statutory liabilities

Statutory liabilities, are amounts owed to regulatory authorities due to statutory obligations such as FBT and PAYG. GST payable is offset against GST receivable and any net GST payable is included as a statutory liability.

Trade and other payables

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the financial year that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are usually paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.

Prepaid rates

Prepaid rates are, until the taxable event has occurred (start of the next financial year), refundable at the request of the ratepayer. Rates received in advance are initially recognised as a financial liability. When the taxable event occurs, the financial liability is extinguished and the Shire recognises income for the prepaid rates that have not been refunded.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

12. OTHER LIABILITIES

Current

	2025	2024
	\$	\$
Contract liabilities	31,525	0
Capital grant/contributions liabilities	124,575	1,070,215
	156,100	1,070,215

Reconciliation of changes in contract liabilities

Opening balance	0	0
Additions	31,525	0
Revenue from contracts with customers included as a contract liability at the start of the period	0	0
	31,525	0

The aggregate amount of the performance obligations unsatisfied (or partially unsatisfied) in relation to these contract liabilities was \$31,525 (2024: \$Nil)

The Shire expects to satisfy the performance obligations, from contracts with customers unsatisfied at the end of the reporting period, within the next 12 months.

Reconciliation of changes in capital grant/contribution liabilities

Opening balance	1,070,215	274,221
Additions	124,575	1,070,215
Revenue from capital grant/contributions held as a liability at the start of the period	(1,070,215)	(274,221)
	124,575	1,070,215

Expected satisfaction of capital grant/contribution liabilities

Less than 1 year	124,575	1,070,215
	124,575	1,070,215

Performance obligations in relation to capital grant/contribution liabilities are satisfied as project milestones are met or completion of construction or acquisition of the asset.

MATERIAL ACCOUNTING POLICIES

Contract liabilities

Contract liabilities represent the Shire's obligation to transfer goods or services to a customer for which the Shire has received consideration from the customer.

Contract liabilities represent obligations which are not yet satisfied. Contract liabilities are recognised as revenue when the performance obligations in the contract are satisfied.

Capital grant/contribution liabilities

Capital grant/contribution liabilities represent the Shire's obligations to construct recognisable non-financial assets to identified specifications to be controlled by the Shire which are yet to be satisfied. Capital grant/contribution liabilities are recognised as income when the obligations in the contract are satisfied.

SHIRE OF MORAWA
 NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
 FOR THE YEAR ENDED 30 JUNE 2025

13. BORROWINGS

	Note	2025			2024		
		Current	Non-current	Total	Current	Non-current	Total
Secured		\$	\$	\$	\$	\$	\$
Debentures		29,841	332,248	362,089	28,985	362,088	391,073
Total secured borrowings	26	29,841	332,248	362,089	28,985	362,088	391,073

Secured liabilities and assets pledged as security
 Bank loans are secured by a floating charge over the assets of the Shire of Morawa.
 Other loans relate to transferred receivables. Refer to Note 5.

The Shire of Morawa has complied with the financial covenants of its borrowing facilities during the 2025 and 2024 years.

MATERIAL ACCOUNTING POLICIES

Borrowing costs

The Shire has elected to recognise borrowing costs as an expense when incurred regardless of how the borrowings are applied.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature.
 Borrowings fair values are based on discounted cash flows using a current borrowing rate. They are classified as level 3 fair values in the fair value hierarchy (see Note 23(i)) due to the unobservable inputs, including own credit risk.

Risk

Details of individual borrowings required by regulations are provided at Note 26.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

14. EMPLOYEE RELATED PROVISIONS

Employee related provisions

Current provisions

Employee benefit provisions

Annual leave

Long service leave

Employee related other provisions

Employment on-costs

Total current employee related provisions

Non-current provisions

Employee benefit provisions

Long service leave

Employee related other provisions

Employment on-costs

Total non-current employee related provisions

Total employee related provisions

	2025	2024
	\$	\$
	74,995	118,348
	99,176	90,039
	174,171	208,387
	20,246	26,732
	20,246	26,732
	194,417	235,119
	39,778	42,207
	39,778	42,207
	1,644	2,606
	1,644	2,606
	41,422	44,813
	235,839	279,932

Provision is made for benefits accruing to employees in respect of wages and salaries, annual leave and long service leave and associated on costs for services rendered up to the reporting date and recorded as an expense during the period the services are delivered.

Annual leave liabilities are classified as current, as there is no unconditional right to defer settlement for at least 12 months after the end of the reporting period.

MATERIAL ACCOUNTING POLICIES

Employee benefits

The Shire's obligations for employees' annual leave, long service leave and other employee leave entitlements are recognised as employee related provisions in the Statement of Financial Position.

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the statement of financial position.

Other long-term employee benefits

Long-term employee benefits provisions are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur.

The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

15. REVALUATION SURPLUS

	2025 Opening balance	Total Movement on revaluation	2025 Closing balance	2024 Opening balance	Total Movement on revaluation	2024 Closing balance
	\$	\$	\$	\$	\$	\$
Revaluation surplus - Land & Buildings	17,751,062	0	17,751,062	17,751,062	0	17,751,062
Revaluation surplus - Furniture and equipment	36,213	0	36,213	36,213	0	36,213
Revaluation surplus - Plant and equipment	1,052,296	0	1,052,296	1,052,296	0	1,052,296
Revaluation surplus - Infrastructure - roads	29,361,738	0	29,361,738	29,361,738	0	29,361,738
Revaluation surplus - Infrastructure - footpaths	75,510	0	75,510	75,510	0	75,510
Revaluation surplus - Infrastructure - sewerage supply	2,034,904	0	2,034,904	2,034,904	0	2,034,904
Revaluation surplus - Infrastructure - parks and ovals	175,141	0	175,141	175,141	0	175,141
Revaluation surplus - Infrastructure - other	4,028,815	0	4,028,815	4,028,815	0	4,028,815
Revaluation surplus - Infrastructure - aerodrome	495,544	0	495,544	495,544	0	495,544
Revaluation surplus - Infrastructure - playgrounds	118,972	0	118,972	118,972	0	118,972
Revaluation surplus - Infrastructure - dams	1,166,084	0	1,166,084	1,166,084	0	1,166,084
	56,296,279	0	56,296,279	56,296,279	0	56,296,279

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

16. RESTRICTIONS OVER FINANCIAL ASSETS

The following classes of financial assets have restrictions imposed by regulations or other externally imposed requirements which limit or direct the purpose for which the resources may be used:

- Cash and cash equivalents	3	5,843,729	8,175,962
- Financial assets at amortised cost	4	2,100,000	0
		7,943,729	8,175,962

The restricted financial assets are a result of the following specific purposes to which the assets may be used:

Restricted reserve accounts	27	7,740,798	7,067,167
Contract liabilities	12	31,525	0
Capital grant liabilities	12	124,575	1,070,215
Bonds and deposits held	11	46,831	38,580
Total restricted financial assets		7,943,729	8,175,962

**17. UNDRAWN BORROWING FACILITIES AND CREDIT
STANDBY ARRANGEMENTS**

Credit standby arrangements

Credit card limit	10,000	15,000
Credit card balance at balance date	(6,461)	(4,051)
Total amount of credit unused	3,539	10,949

Loan facilities

Loan facilities - current	29,841	28,985
Loan facilities - non-current	332,248	362,088
Total facilities in use at balance date	362,089	391,073

Unused loan facilities at balance date	NIL	NIL
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SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

18. CONTINGENT LIABILITIES

The Shire of Morawa has, in compliance with the Contaminated Sites Act 2003 s11, listed sites to be

- The Shire of Morawa Works Depot
- The Shire of Morawa Landfill site - Jones Lake Road
- The Shire of Morawa Waste Water Treatment Plant
- The Shire of Morawa Landfill site - Canna
- The Shire of Morawa Landfill site - Gutha
- The Old Hospital located on Caulfield Road

Until the Shire conducts an investigation to determine the presence and scope of contamination, assess the risk and agree with the DWER the need and criteria for remediation, the Shire is unable to accurately quantify its clean-up liabilities for potentially contaminated sites. The Shire is continuing to monitor the sites and will progressively undertake site investigations and remediation on a risk based approach. This approach is consistent with the DWER guidelines.

Old Morawa Hospital

The Shire was granted a management order over Reserve 52057 on 22 April 2015 (the Old Hospital Site). The buildings on the site are in a state of disrepair, and it is assumed, include asbestos containing materials (ACM's) within the building's fabric.

The Shire has the intention to further investigate its options by assessing the asbestos levels in collaboration with expert parties.

The Shire has been working with the Department of Planning Lands and Heritage (the department) regarding the future ownership of the old hospital. The Department will first need to consider whether native title rights and interest have been extinguished over the whole or portion of the subject reserve.

Upon confirming the native title status for Reserve 52057, both the Shire and the Department will consider their options which may include (but are not limited to):

- The subject reserve remains with the Shire with an undertaking that building is demolished; or
- Sold via a divestment with the Department's Land Asset program for divestment.

Other than the matters noted above, the Shire is not aware of any potential contingent liabilities as at 30 June 2025.

19. CAPITAL COMMITMENTS

Contracted for:

- capital expenditure projects
- plant & equipment purchases

Payable:

- not later than one year

2025	2024
\$	\$
56,685	134,911
0	311,300
56,685	446,211
56,685	446,211

Capital commitment for the current year relate to;

Consultants costs in relation to capital road project and the replacement of switchboard at Recreation Centre.

Capital commitments for previous year relate to:

2 x Fuso canter trucks, consultants - recreation centre roof, renewal works of staff housing and equipment hire for rural road projects

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

20. RELATED PARTY TRANSACTIONS

(a) Council member remuneration

Fees, expenses and allowances to be paid or reimbursed to council members.

Note	2025 Actual \$	2025 Budget \$	2024 Actual \$
President's annual allowance	18,126	18,126	17,428
President's meeting attendance fees	17,056	17,056	16,400
President's other expenses	239	1,458	391
	35,421	36,640	34,219
Deputy President's annual allowance	4,532	4,532	4,357
Deputy President's meeting attendance fees	8,528	8,528	8,200
Deputy President's other expenses	2,632	1,457	1,654
Deputy President's travel and accommodation expenses	0	1,000	0
	15,692	15,517	14,211
All other council member's meeting attendance fees	42,640	42,640	37,809
All other council member's All other council member expenses	3,887	7,285	1,954
All other council member's travel and accommodation expenses	0	5,000	497
	46,527	54,925	40,260
20(b)	97,640	107,082	88,690

(b) Key management personnel (KMP) compensation

The total of compensation paid to KMP of the Shire during the year are as follows:

Short-term employee benefits	328,913	367,560
Post-employment benefits	44,787	52,520
Employee - other long-term benefits	43,540	29,587
Employee - termination benefits	53,158	0
Council member costs	97,640	88,690
20(a)	568,038	538,357

Short-term employee benefits

These amounts include all salary and fringe benefits awarded to KMP except for details in respect to fees and benefits paid to council members which may be separately found in the table above.

Post-employment benefits

These amounts are the current-year's cost of the Shire's superannuation contributions made during the year.

Other long-term benefits

These amounts represent annual leave and long service leave entitlements accruing during the year.

Termination benefits

These amounts represent termination benefits paid to KMP (Note: may or may not be applicable in any given year).

Council member costs

These amounts represent payments of member fees, expenses, allowances and reimbursements during the year.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

20. RELATED PARTY TRANSACTIONS (Continued)

(c) Transactions with related parties

Transactions between related parties and the Shire are on normal commercial terms and conditions, no more favourable than those available to other parties, unless otherwise stated.

No outstanding balances or provisions for doubtful debts or guarantees exist in relation to related parties at year end.

In addition to KMP compensation above the following transactions occurred with related parties:

	2025 Actual	2024 Actual
	\$	\$
Sale of goods and services	59,875	0
Purchase of goods and services	76,627	194,871
Amounts outstanding from related parties:		
Trade and other receivables	1,825	3,655
Amounts payable to related parties:		
Trade and other payables	9,981	0

(d) Related parties

The Shire's main related parties are as follows:

i. Key management personnel

Any person(s) having authority and responsibility for planning, directing and controlling the activities of the Shire, directly or indirectly, including any council member, are considered key management personnel.

ii. Other Related Parties

Short-term employee benefits related to an associate person of the CEO who was employed by the Shire under normal employment terms and conditions.

Outside of normal citizen type transactions with the Shire, there were no other related party transactions involving key management personnel and/or their close family members and/or their controlled (or jointly controlled) entities.

iii. Entities subject to significant influence by the Shire

There were no such entities requiring disclosure during the current or previous year.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

21. JOINT ARRANGEMENTS

Share of joint operations

The Shire of Morawa has entered into a joint arrangement, based on a Deed of Trust, with Homeswest for the construction of 2 x 1 bedroom unit and 1 x 2 bedroom units in Dreghorn Street, Morawa. The provision of this housing aims to provide accommodation to single persons. The Shire of Morawa has a 2% interest in the assets of this joint arrangement. All revenue and expenditure, as well as liabilities, of the joint arrangements are recognised in the relevant financial statements of Council.

Statement of financial position

Land and buildings
Less: accumulated depreciation
Total assets

2025	2024
Actual	Actual
\$	\$
3,240	3,240
(94)	(47)
3,146	3,193

Statement of comprehensive income

Other revenue
Depreciation
Other expense
Profit/(loss) for the period
Other comprehensive income
Total comprehensive income for the period

15,027	15,562
(47)	(47)
(8,527)	(12,492)
6,453	3,023
0	0
6,453	3,023

Statement of cash flows

Other revenue
Other expense
Net cash provided by operating activities

15,027	15,562
(8,574)	(12,492)
6,453	3,070

MATERIAL ACCOUNTING POLICIES

Joint operations

A joint operation is a joint arrangement where the Shire has joint control with two or more parties to the joint arrangement. All parties to joint arrangement have rights to the assets, and obligations for the liabilities relating to the arrangement.

Assets, liabilities, revenues and expenses relating to the Shire's interest in the joint operation are accounted for in accordance with the relevant Australian Accounting Standards.

**SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025**

22. EVENTS OCCURRING AFTER THE END OF THE REPORTING PERIOD

The Shire does not have any subsequent events after balance sheet date.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

23. OTHER MATERIAL ACCOUNTING POLICIES

a) Goods and services tax (GST)

Revenues, expenses and assets are recognised net of the amount of GST, except where the amount of GST incurred is not recoverable from the Australian Taxation Office (ATO).

Receivables and payables are stated inclusive of GST receivable or payable. The net amount of GST recoverable from, or payable to, the ATO is included with receivables or payables in the statement of financial position.

Cash flows are presented on a gross basis. The GST components of cash flows arising from investing or financing activities which are recoverable from, or payable to, the ATO are presented as operating cash flows.

b) Current and non-current classification

The asset or liability is classified as current if it is expected to be settled within the next 12 months, being the Shire's operational cycle. In the case of liabilities where the Shire does not have the unconditional right to defer settlement beyond 12 months, such as vested long service leave, the liability is classified as current even if not expected to be settled within the next 12 months. Inventories held for trading are classified as current or non-current based on the Shire's intentions to release for sale.

c) Rounding off figures

All figures shown in this annual financial report, other than a rate in the dollar, are rounded to the nearest dollar. Amounts are presented in Australian Dollars.

d) Comparative figures

Where required, comparative figures have been adjusted to conform with changes in presentation for the current financial year.

When the Shire applies an accounting policy retrospectively, makes a retrospective restatement or reclassifies items in its financial statements that has a material effect on the statement of financial position, an additional (third) Statement of Financial Position as at the beginning of the preceding period in addition to the minimum comparative financial report is presented.

e) Budget comparative figures

Unless otherwise stated, the budget comparative figures shown in this annual financial report relate to the original budget estimate for the relevant item of disclosure.

f) Superannuation

The Shire contributes to a number of Superannuation Funds on behalf of employees. All funds to which the Shire contributes are defined contribution plans.

g) Fair value of assets and liabilities

Fair value is the price that the Shire would receive to sell the asset or would have to pay to transfer a liability, in an orderly (i.e. unforced) transaction between independent, knowledgeable and willing market participants at the measurement date.

As fair value is a market-based measure, the closest equivalent observable market pricing information is used to determine fair value. Adjustments to market values may be made having regard to the characteristics of the specific asset or liability. The fair values of assets that are not traded in an active market are determined using one or more valuation techniques. These valuation techniques maximise, to the extent possible, the use of observable market data.

To the extent possible, market information is extracted from either the principal market for the asset or liability (i.e. the market with the greatest volume and level of activity for the asset or liability) or, in the absence of such a market, the most advantageous market available to the entity at the end of the reporting period (i.e. the market that maximises the receipts from the sale of the asset after taking into account transaction costs and transport costs).

For non-financial assets, the fair value measurement also takes into account a market participant's ability to use the asset in its highest and best use or to sell it to another market participant that would use the asset in its highest and best use.

h) Interest revenue

Interest revenue is calculated by applying the effective interest rate to the gross carrying amount of a financial asset measured at amortised cost except for financial assets that subsequently become credit-impaired. For credit-impaired financial assets the effective interest rate is applied to the net carrying amount of the financial asset (after deduction of the loss allowance).

i) Fair value hierarchy

AASB 13 *Fair Value Measurement* requires the disclosure of fair value information by level of the fair value hierarchy, which categorises fair value measurement into one of three possible levels based on the lowest level that an input that is significant to the measurement can be categorised into as follows:

Level 1

Measurements based on quoted prices (unadjusted) in active markets for identical assets or liabilities that the entity can access at the measurement date.

Level 2

Measurements based on inputs other than quoted prices included in Level 1 that are observable for the asset or liability, either directly or indirectly.

Level 3

Measurements based on unobservable inputs for the asset or liability.

The fair values of assets and liabilities that are not traded in an active market are determined using one or more valuation techniques. These valuation techniques maximise, to the extent possible, the use of observable market data. If all significant inputs required to measure fair value are observable, the asset or liability is included in Level 2. If one or more significant inputs are not based on observable market data, the asset or liability is included in Level 3.

Valuation techniques

The Shire selects a valuation technique that is appropriate in the circumstances and for which sufficient data is available to measure fair value. The availability of sufficient and relevant data primarily depends on the specific characteristics of the asset or liability being measured. The valuation techniques selected by the Shire are consistent with one or more of the following valuation approaches:

Market approach

Valuation techniques that use prices and other relevant information generated by market transactions for identical or similar assets or liabilities.

Income approach

Valuation techniques that convert estimated future cash flows or income and expenses into a single discounted present value.

Cost approach

Valuation techniques that reflect the current replacement cost of the service capacity of an asset.

Each valuation technique requires inputs that reflect the assumptions that buyers and sellers would use when pricing the asset or liability, including assumptions about risks. When selecting a valuation technique, the Shire gives priority to those techniques that maximise the use of observable inputs and minimise the use of unobservable inputs. Inputs that are developed using market data (such as publicly available information on actual transactions) and reflect the assumptions that buyers and sellers would generally use when pricing the asset or liability are considered observable, whereas inputs for which market data is not available and therefore are developed using the best information available about such assumptions are considered unobservable.

j) Impairment of assets

In accordance with Australian Accounting Standards the Shire's assets, other than inventories, are assessed at each reporting date to determine whether there is any indication they may be impaired.

Where such an indication exists, an impairment test is carried out on the asset by comparing the recoverable amount of the asset, being the higher of the asset's fair value less costs to sell and value in use, to the asset's carrying amount except for non-financial assets that are:

- land and buildings classified as property, plant and equipment;
- infrastructure; or
- vested improvements that the local government controls, in circumstances where there has been an impairment indication of a general decrease in asset values.

These non-financial assets are assessed in accordance with the regulatory framework detailed in Note 10.

Any excess of the asset's carrying amount over its recoverable amount is recognised immediately in profit or loss, unless the asset is carried at a revalued amount in accordance with another Standard (e.g. AASB 116 *Property, Plant and Equipment*) whereby any impairment loss of a revalued asset is treated as a revaluation decrease in accordance with that other Standard.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

24. RATING INFORMATION

(a) General rates

RATE TYPE		Rate in \$	Number of properties	2024/25 Actual rateable value*	2024/25 Actual rate revenue	2024/25 Actual interim rates	2024/25 Actual total revenue	2024/25 Budget rate revenue	2024/25 Budget interim rate	2024/25 Budget total revenue	2023/24 Actual total revenue
Rate description	Basis of valuation			\$	\$	\$	\$	\$	\$	\$	\$
Residential/Commercial	Gross Rental Valuations	0.088342	267	3,722,566	328,859	589	329,448	328,859	0	328,859	247,842
Rural	Unimproved Valuations	0.018932	202	130,942,500	2,479,003	64	2,479,067	2,479,003	0	2,479,003	2,389,286
Mining	Unimproved Valuations	0.301974	31	944,681	285,269	(9,129)	276,140	285,269	0	285,269	263,643
Non Rateable		0.000000	139	488,009	0	0	0	0	0	0	0
Total general rates			639	136,097,756	3,093,131	(8,476)	3,084,655	3,093,131	0	3,093,131	2,900,771
Minimum payment											
Minimum payment \$											
Residential/Commercial	Gross Rental Valuations	355	45	27,185	15,975	0	15,975	15,620	0	15,620	15,594
Rural	Unimproved Valuations	355	11	112,300	3,905	0	3,905	3,905	0	3,905	2,373
Mining	Unimproved Valuations	683	13	14,972	8,879	0	8,879	8,879	0	8,879	8,196
Total minimum payments			69	154,457	28,759	0	28,759	28,404	0	28,404	26,163
Total general rates and minimum payments			708	136,252,213	3,121,890	(8,476)	3,113,414	3,121,535	0	3,121,535	2,926,934
Ex-gratia rates											
CBH	Tonnage	0.039290		270,150	10,614	0	10,614	10,665	0	10,665	10,206
Total amount raised from rates (excluding general rates)			0	270,150	10,614	0	10,614	10,665	0	10,665	10,206
Discounts							(32,936)			(37,000)	(34,878)
Rates written off							(11,803)			(1,500)	(19,113)
Total rates							3,079,289			3,093,700	2,883,149
(b) Rates related information											
Rates instalment interest							6,697			5,300	5,238
Rates instalment plan charges							2,220			1,500	1,134
Rates overdue interest							26,562			24,000	24,171

*Rateable Value at time of raising of rate.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

25. DETERMINATION OF SURPLUS OR DEFICIT

		2024/25 Budget	2023/24
	2024/25 (30 June 2025 carried forward)	(30 June 2025 carried forward)	(30 June 2024 carried forward)
Note	\$	\$	\$
(a) Non-cash amounts excluded from operating activities			
The following non-cash revenue or expenditure has been excluded from amounts attributable to operating activities within the Statement of Financial Activity in accordance with <i>Financial Management Regulation 32</i> .			
Adjustments to operating activities			
Less: Profit on asset disposals	(44,046)	(35,520)	0
Less: Movement in liabilities associated with restricted cash	10,677	0	7,368
Less: Fair value adjustments to financial assets at fair value through profit or loss	2,664	0	(1,261)
Add: Loss on disposal of assets	58,586	29,248	0
Add: Depreciation	2,333,542	2,340,527	1,926,903
Non-cash movements in non-current assets and liabilities:			
Pensioner deferred rates	(40,293)	0	(1,608)
Employee benefit provisions	(3,392)	0	5,958
Non-cash amounts excluded from operating activities	2,317,738	2,334,255	1,937,360
(b) Surplus or deficit after imposition of general rates			
The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with <i>Financial Management Regulation 32</i> to agree to the surplus/(deficit) after imposition of general rates.			
Adjustments to net current assets			
Less: Reserve accounts	27 (7,740,798)	(7,326,679)	(7,067,167)
Add: Current liabilities not expected to be cleared at end of year			
- Current portion of borrowings	13 29,841	28,984	28,985
- Employee benefit provisions	258,017	247,341	247,340
Total adjustments to net current assets	(7,452,940)	(7,050,354)	(6,790,842)
Net current assets used in the Statement of financial activity			
Total current assets	11,292,781	9,310,427	11,531,201
Less: Total current liabilities	(1,700,875)	(2,260,073)	(1,743,688)
Less: Total adjustments to net current assets	(7,452,940)	(7,050,354)	(6,790,842)
Surplus or deficit after imposition of general rates	2,138,966	0	2,996,671

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

26. BORROWING AND LEASE LIABILITIES

Borrowings

		Actual							Budget			
Purpose	Note	Principal at	New loans	Principal	Principal at 30	New loans	Principal	Principal at	Principal at 1	New loans	Principal	Principal at
		1 July 2023	during 2023-24	repayments	June 2024	during 2024-25	repayments	30 June 2025	July 2024	during 2024-25	repayments	30 June 2025
		\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
24 Harley Street		249,285	0	(15,789)	233,496	0	(16,415)	217,081	233,496	0	(16,416)	217,080
Netball Courts Redevelopment		169,944	0	(12,367)	157,577	0	(12,569)	145,008	157,577	0	(12,569)	145,008
Total		419,229	0	(28,156)	391,073	0	(28,984)	362,089	391,073	0	(28,985)	362,088
Borrowing finance cost payments												
Purpose	Loan number	Institution	Interest rate	Date final payment is due	Actual for year ending 30 June 2025		Budget for year ending 30 June 2025		Actual for year ending 30 June 2024			
					\$	\$	\$	\$	\$	\$	\$	\$
24 Harley Street	136	WATC	3.9300%	16/12/2035	(11,827)	(9,017)	(11,827)	(9,017)	(10,120)	(2,380)	(10,120)	(2,380)
Netball Courts Redevelopment	139	WATC	1.6242%	1/09/2035	(4,880)	(3,008)	(4,880)	(3,008)	(2,380)	(2,380)	(2,380)	(2,380)
Total					(16,707)	(12,025)	(16,707)	(12,025)	(12,500)	(12,500)	(12,500)	(12,500)
Total finance cost payments					(16,707)	(12,025)	(16,707)	(12,025)	(12,500)	(12,500)	(12,500)	(12,500)

* WA Treasury Corporation

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

27. RESERVE ACCOUNTS	2025 Actual opening balance	2025 Actual transfer to	2025 Actual transfer (from)	2025 Actual closing balance	2025 Budget opening balance	2025 Budget transfer to	2025 Budget transfer (from)	2025 Budget closing balance	2024 Actual opening balance	2024 Actual transfer to	2024 Actual transfer (from)	2024 Actual closing balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by council												
(a) Leave reserve	247,340	10,677	0	258,017	247,339	7,369	0	254,708	239,972	7,368	0	247,340
(b) Plant Replacement Reserve	612,646	226,445	(200,000)	639,091	612,646	218,251	(200,000)	630,897	594,395	18,251	0	612,646
(c) Capital Works Reserve	555,261	123,968	0	679,229	555,262	115,052	0	670,314	490,209	65,052	0	555,261
(d) Sewerage Reserve	461,198	269,908	0	731,106	461,198	71,952	0	533,150	389,246	71,952	0	461,198
(e) Unspent Loans Reserve	0	0	0	0	0	0	0	0	101,639	0	(101,639)	0
(f) Community & Economic Development Reser	1,370,632	51,216	0	1,421,848	1,370,630	42,965	0	1,413,595	1,284,517	86,115	0	1,370,632
(g) Future Funds (Principal) Reserve	2,069,549	30,180	0	2,099,729	2,069,550	22,728	0	2,092,278	2,046,821	22,728	0	2,069,549
(h) Future Funds (Interest) Reserve	288,395	46,169	(23,000)	311,564	288,396	58,117	(40,000)	306,513	230,279	58,116	0	288,395
(i) Emergency Response Reserve	270,134	61,661	0	331,795	270,134	8,047	0	278,181	262,087	8,047	0	270,134
(j) Aged Care Units 1-4 (JVA) Reserve	74,309	3,208	0	77,517	74,309	2,214	0	76,523	72,095	2,214	0	74,309
(k) Swimming Pool Reserve	146,483	26,323	0	172,806	146,483	23,768	0	170,251	122,715	23,768	0	146,483
(l) Legal Fees Reserve	47,786	12,063	0	59,849	47,786	11,125	0	58,911	36,661	11,125	0	47,786
(m) Jones Lake Road Rehab Reserve	176,540	27,621	0	204,161	176,540	24,664	0	201,204	151,877	24,663	0	176,540
(n) Morawa-Yalgoo Road Maintenance Reserve	249,963	0	0	249,963	249,963	50,000	0	299,963	147,708	132,255	(30,000)	249,963
(o) Insurance Works Reserve	209,660	0	(15,208)	194,452	209,660	0	(175,000)	34,660	250,000	0	(40,340)	209,660
(p) COVID-10 Emergency Response	0	0	0	0	0	0	0	0	43,149	0	(43,149)	0
(q) Aged Care Units (Excl 1-4) Reserve	287,271	22,400	0	309,671	287,271	18,260	0	305,531	269,011	18,260	0	287,271
	7,067,167	911,839	(238,208)	7,740,798	7,067,167	674,512	(415,000)	7,326,679	6,732,381	549,914	(215,128)	7,067,167

All reserves are supported by cash and cash equivalents and financial assets at amortised cost and are restricted within equity as Reserve accounts.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

27. RESERVE ACCOUNTS (Continued)

In accordance with council resolutions or adopted budget in relation to each reserve account, the purpose for which the reserves are set aside and their anticipated date of use are as follows:

Name of reserve account	Purpose of the reserve account
Restricted by council	
(a) Leave reserve	To be used to fund leave requirements.
(b) Plant Replacement Reserve	To be used to upgrade, replace, or purchase of new plant and equipment.
(c) Capital Works Reserve	To be used for the Shire to allocate towards expenditure on capital works, specifically the renewal or creation of Shire assets.
(d) Sewerage Reserve	To be used to repair, replace, or extend the sewerage facility.
(e) Unspent Loans Reserve	To be used to quarantine any unspent loan funds at year end due to incomplete projects.
(f) Community & Economic Development Reserve	To fund significant community or economic development projects within the shire.
(g) Future Funds (Principal) Reserve	To provide an ongoing conduit for benefits to the people and environment of Morawa in line with Sinosteel Midwest Corporation Future Fund Foundation Memorandum.
(h) Future Funds (Interest) Reserve	To allocate funding to community based projects financed from the interest received on the Future Fund (Principal) Reserve.
(i) Emergency Response Reserve	To be used to fund insurance excesses and emergency response activities in relation to unbudgeted events impacting the community or Shire assets outside of Council control.
(j) Aged Care Units 1-4 (JVA) Reserve	To fund future repair and maintenance costs associated with the Joint Venture Agreement (JVA) Aged Care Units.
(k) Swimming Pool Reserve	Funds to be used for any renewal/upgrade or maintenance of the Morawa Swimming Pool.
(l) Legal Fees Reserve	To be used to fund any unforeseen legal action against the Shire of Morawa.
(m) Jones Lake Road Rehab Reserve	To fund future closure and rehabilitation of the landfill site at Jones Lake Road.
(n) Morawa-Yalgoo Road Maintenance Reserve	To be used to fund any future maintenance works on the Morawa Yalgoo Road.
(o) Insurance Works Reserve	To be used to repair assets that have received an insurance payout but works are not completed by year end.
(p) COVID-10 Emergency Response	To invest in activities that promote community wellbeing, aid residents and businesses in financial hardship and other general COVID recovery projects.
(q) Aged Care Units (Excl 1-4) Reserve	To fund capital works expenditure relating to existing or new Aged Care Units.

SHIRE OF MORAWA
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT
FOR THE YEAR ENDED 30 JUNE 2025

28. TRUST FUNDS

Funds held at balance date which are required to be held in trust and which are not included in the financial statements are as follows:

	1 July 2024	Amounts received	Amounts paid	30 June 2025
	\$	\$	\$	\$
Drug Action Group	660	0	0	660
Youth Fundraising	865	0	0	865
	1,525	0	0	1,525



Auditor General

INDEPENDENT AUDITOR'S REPORT

2025

Shire of Morawa

To the Council of the Shire of Morawa

Opinion

I have audited the financial report of the Shire of Morawa (Shire) which comprises:

- the statement of financial position as at 30 June 2025, the statement of comprehensive income, statement of changes in equity, statement of cash flows and statement of financial activity for the year then ended
- notes comprising a summary of material accounting policies and other explanatory information.

In my opinion, the financial report:

- is based on proper accounts and records
- presents fairly, in all material respects, the results of the operations of the Shire for the year ended 30 June 2025 and its financial position at the end of that period
- is in accordance with the *Local Government Act 1995* (the Act) and, to the extent that they are not inconsistent with the Act, Australian Accounting Standards.

Basis for opinion

I conducted my audit in accordance with Australian Auditing Standards. My responsibilities under those standards are further described in the Auditor's responsibilities for the audit of the financial report section below.

I believe that the audit evidence I have obtained is sufficient and appropriate to provide a basis for my opinion.

Other information

The Chief Executive Officer (CEO) is responsible for the preparation and the Council for overseeing the other information. The other information is the information in the entity's annual report for the year ended 30 June 2025, but not the financial report and my auditor's report.

My opinion on the financial report does not cover the other information and accordingly, I do not express any form of assurance conclusion thereon.

In connection with my audit of the financial report, my responsibility is to read the other information and, in doing so, consider whether the other information is materially inconsistent with the financial report or my knowledge obtained in the audit or otherwise appears to be materially misstated.

If, based on the work I have performed, I conclude that there is a material misstatement of this other information, I am required to report that fact. I did not receive the other information prior to the date of this auditor's report. When I do receive it, I will read it and if I conclude that there is a material misstatement in this information, I am required to communicate the matter to the CEO and Council and request them to correct the misstated information. If the misstated information is not corrected, I may need to retract this auditor's report and re-issue an amended report.

Responsibilities of the Chief Executive Officer and Council for the financial report

The Chief Executive Officer (CEO) of the Shire is responsible for:

- keeping proper accounts and records
- preparation and fair presentation of the financial report in accordance with the requirements of the Act, the Regulations and Australian Accounting Standards
- managing internal control as required by the CEO to ensure the financial report is free from material misstatement, whether due to fraud or error.

In preparing the financial report, the CEO is responsible for:

- assessing the Shire's ability to continue as a going concern
- disclosing, as applicable, matters related to going concern
- using the going concern basis of accounting unless the State Government has made decisions affecting the continued existence of the Shire.

The Council is responsible for overseeing the Shire's financial reporting process.

Auditor's responsibilities for the audit of the financial report

As required by the *Auditor General Act 2006*, my responsibility is to express an opinion on the financial report. The objectives of my audit are to obtain reasonable assurance about whether the financial report as a whole is free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes my opinion. Reasonable assurance is a high level of assurance but is not a guarantee that an audit conducted in accordance with Australian Auditing Standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial report. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations or the override of internal control.

A further description of my responsibilities for the audit of the financial report is located on the Auditing and Assurance Standards Board website. This description forms part of my auditor's report and can be found at https://www.auasb.gov.au/auditors_responsibilities/ar4.pdf.

My independence and quality management relating to the report on the financial report

I have complied with the independence requirements of the *Auditor General Act 2006* and the relevant ethical requirements relating to assurance engagements. In accordance with ASQM 1 *Quality Management for Firms that Perform Audits or Reviews of Financial Reports and Other Financial Information, or Other Assurance or Related Services Engagements*, the Office of the Auditor General maintains a comprehensive system of quality management including documented policies and procedures regarding compliance with ethical requirements, professional standards and applicable legal and regulatory requirements.

Matters relating to the electronic publication of the audited financial report

This auditor's report relates to the financial report of the Shire of Morawa for the year ended 30 June 2025 included in the annual report on the Shire's website. The Shire's management is responsible for the integrity of the Shire's website. This audit does not provide assurance on the integrity of the Shire's website. The auditor's report refers only to the financial report. It does not provide an opinion on any other information which may have been hyperlinked to/from the annual report. If users of the financial report are concerned with the inherent risks arising from publication on a website, they are advised to contact the Shire to confirm the information contained in the website version.



Liang Wong
Acting Senior Director Financial Audit
Delegate of the Auditor General for Western Australia
Perth, Western Australia
27 November 2025

Ordinary Council Meeting 15 December 2025

Attachment 11.1.3a - Regional Housing Support Fund Guidelines

Attachment 11.1.3b - 1x1 & 2x2 Dual Residence Plan

Attachment 11.1.3c - 2x2 & 2x2 Dual Residence Plan

Attachment 11.1.3d - Certificate of Title with Sketch 1544-911 4 Evans Street, MORAWA 6623

Attachment 11.1.3e - 4 Evans Street, MORAWA 6623 - Sketch for 1544-911

Attachment 11.1.3f - Telstra - RHFS - 4 Evans

Attachment 11.1.3g - Watercorp - RHFS - 4 Evans

Attachment 11.1.3h - Western Power - RHFS - 4 Evans

Attachment 11.1.3i - Certificate of Title with Sketch 1699-92 4 Granville Street, MORAWA 6623

Attachment 11.1.3j - 4 Granville Street, MORAWA 6623 - Sketch for 1699-92

Attachment 11.1.3k - Telstra - RHFS - 4 Granville

Attachment 11.1.3l - Watercorp - RHFS - 4 Granville

Attachment 11.1.3m - Western Power - RHFS - 4 Granville

Attachment 11.1.3n - SoM - RHFS - 4 Granville

Attachment 11.1.3o - Certificate of Title with Sketch 1686-432 59 Dreghorn Street, MORAWA 6623

Attachment 11.1.3p - 59 Dreghorn Street, MORAWA 6623 - Sketch for 1686-432

Attachment 11.1.3q - Western Power - RHSF - 59 Dreghorn

Attachment 11.1.3r - Watercorp - RHSF - 59 Dreghorn

Attachment 11.1.3s - Telstra - RHSF - 59 Dreghorn

Attachment 11.1.3t - SoM - RHSF - 59 Dreghorn

Ordinary Council Meeting 15 December 2025

Attachment 11.1.3u - Letter of Support - CSWA - RHSF Morawa
Attachment 11.1.3v - Letter of Support - MDHS - RHSF Morawa
Attachment 11.1.3w - Letter of Support - MEEDAC - RHSF Morawa
Attachment 11.1.3x - Letter of Support - MFDS - RHSF Morawa
Attachment 11.1.3y - Letter of Support - MWDC - RHSF Morawa
Attachment 11.1.3z - Letter of Support - REED - RHSF Morawa

Item 11.1.3 - **Regional Housing Support Fund**



Department of Planning,
Lands and Heritage



Regional Housing Support Fund Guidelines for Applicants

**SOLUTIONS FOCUSED FOR A
VIBRANT WESTERN AUSTRALIA**

Acknowledgment of Country

The Department of Planning, Lands and Heritage acknowledges the traditional owners and custodians of this land. We pay our respect to Elders past and present, their descendants who are with us today, and those who will follow in their footsteps. DPLH gratefully acknowledges the support and assistance of consultants Urbaqua Land and Urban Water Solutions in the development of this document.

Readers should familiarise themselves with all other documents which are a part of the Regional Housing Support Fund Program.

APPLICATIONS CLOSE AT 5pm AWST Friday 19 December 2025

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Disclaimer

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website: www.wa.gov.au/dplh
email: rhsf@dplh.wa.gov.au

tel: 08 6551 8002
fax: 08 6551 9001
National Relay Service: 13 36 77

This document is available in alternative formats on application to Communication Services.

1. How to use the guidelines

These guidelines cover:

- amount of funding available
- who is eligible to apply
- what types of projects and costs are eligible
- eligible locations
- what you will need to apply
- how applications are assessed
- what to expect if you are successful

Before making an application to the Regional Housing Support Fund (RHSF) (the Fund) you should read these guidelines and the frequently asked questions (FAQs) available on the website in full to ensure you and your project meet the eligibility requirements.

Applications for the Regional Housing Support Fund must be lodged via SmartyGrants, the Department of Planning, Lands and Heritage's online grant application platform.

Detailed application instructions including a help guide are available at <https://dplh.smartygrants.com.au>.

For any questions about the guidelines or to discuss your project, email rhsf@dplh.wa.gov.au or call 6551 8002.

2. About the Regional Housing Support Fund

The Regional Housing Support Fund is a \$25 million commitment from the Western Australian Government to provide grants to support new housing and residential lot supply projects across regional Western Australia.

Delivering new housing in regional Western Australia can be challenging due to additional costs often associated in bringing land and housing to market. These costs include site preparation, provision of enabling infrastructure, construction and civil works – all of which impact the feasibility and affordability of projects. The extent of feasibility gaps vary across regions, depending on factors such as location, availability of local expertise, materials and labour.

The Fund is open to local governments, community housing providers and landowners/developers to support key worker, community housing and residential subdivision projects in regional Western Australia.

Grants from this Fund are to assist with addressing identified and quantified feasibility gaps, subject to eligibility requirements, and bring projects sooner to fruition. A competitive assessment process applies to applications.

The Fund is administered by the Department of Planning, Lands and Heritage (the Department).

3. Objectives

The Regional Housing Support Fund seeks to:

- 1) Provide funding assistance to help close existing feasibility gaps being experienced by key worker and community housing projects (including supported and specialist accommodation), and residential subdivision projects in regional Western Australia.
- 2) Assist with the provision of new housing, including repurposed dwellings, in regional towns to help build and maintain sustainable regional communities.
- 3) Support delivery of housing for key workers, community housing organisations and low to moderate income households in non-mining industries.

For the purpose of this Fund:

- Key workers include, but are not limited to, skilled and semi-skilled workers employed in the following industries:
 - Childcare
 - Education
 - Emergency Services
 - Government employees
 - Healthcare
 - Hospitality
 - Retail
 - Tourism
 - Trades and Manufacturing
 - Transport and Logistics
- Workers employed in the above industries do not include those in the mining/resources industries.
- Community housing can consist of a range of housing types provided for people on a very low, low or moderate income, or for people with additional needs. This may include crisis, transitional and long-term rental housing and congregate living facilities, like hostels or lodges.
- A community housing provider means a body corporate or organisation, including not-for-profit, that has one of its objectives being the provision of community housing.

4. Eligibility

For a project to be eligible for consideration of funding from the Regional Housing Support Fund, it will need to meet location, applicant, project and cost eligibility requirements, including timeframes for the delivery of projects.

Meeting eligibility requirements does not guarantee funding will be provided. A competitive assessment process applies to applications.

4.1 Applicant eligibility

The Fund is open to applications from developers/landowners, community housing providers and local governments. State Government agencies may also identify projects for consideration, which meet Government priorities, objectives and complement existing projects or initiatives.

4.2 Eligible locations

For a project to be eligible for consideration of funding, it must be located within, or in the vicinity of, an existing regional centre, townsite or community within regional Western Australia excluding the Perth and Peel metropolitan region. Genuine regional proposals in the outer Peel region (i.e. Boddington and Waroona) may be considered where justified.

4.3 Project eligibility

The project must propose the delivery of three or more dwellings and/or the delivery of three or more residential lots. For dwellings, this can be across multiple lots if the delivery is being undertaken as a single package. For subdivision, the proposed lots must be on a single contiguous site.

For a project to be eligible for consideration of funding, it must result in the timely delivery of either (or a combination):

- **New self-contained housing for affordable purchase or lease by key workers, located within a reasonable vicinity to employment locations and amenity and services**

This can include a range of housing types to meet the anticipated housing needs. At a minimum, each dwelling should provide a bedroom, living space, kitchen and bathroom facilities (i.e. not relying on shared facilities) and be capable of being used for permanent occupancy, not short-stay accommodation purposes. Projects involving repurposed dwellings will be considered.

The application must demonstrate that housing construction can commence within two years and can be completed within four years.

- **Community housing accommodation located within regional centres or townsites.**

A range of housing types can be considered, responding to the housing needs in the region. The application must demonstrate housing construction can commence within two years and can be completed within four years.

- **New serviced lots for residential dwellings.**

The application must demonstrate the subdivision can be delivered (lots titled) within two years. Lots must be located on land with a residential zoning and all required structure planning or other planning in place. If the site is not appropriately zoned at the time of application, applicants must demonstrate that zoning can be achieved within sufficient time to enable delivery of lots within the required timeframe.

Applications should demonstrate that the project is capable, if funded, of timely delivery (i.e. at the stage where contractors can be engaged and construction begins). This may include a valid subdivision or development approval (or evidence of an existing application) with sufficient time remaining to enable delivery of works. Consideration can be given to a longer time period, for reasons such as project complexity, resource/material availability, the need to wait for completion of related infrastructure works or design.

Applications which would be reliant on further detailed design work, resolution of tenure constraints and/or regulatory approvals (such as rezonings) are less likely to be competitive.

4.4 Eligible costs

The Regional Housing Support Fund may contribute funding for the following :

- Site preparation, including earthworks, drainage infrastructure and decontamination (if relevant).
- Contribution and connection costs relating to the supply of water, wastewater, electricity or telecommunications connections to lots or dwellings, including site preparation and earthworks required as part of the delivery of these connections.
 - On-site standalone systems may be considered where they represent the most appropriate option for the provision of essential services.
 - Gas connection costs may be considered where the development includes a commercial component. Gas connections for residential uses are excluded.
- Construction of roads and/or upgrades.
- Construction of dwellings for key workers or community housing.

Note: Projects which are under assessment or which have received funding through the Infrastructure Development Fund (IDF) or Housing Enabling Infrastructure Fund (HEIF) are eligible to apply for funding, however if a component of infrastructure has received committed funding from the IDF or HEIF, that particular infrastructure component will not be eligible for funding.

4.5 Ineligible projects or costs

- The creation of special residential or rural-residential lots, generally considered to be lots equal to or greater than 2000m².
- Costs associated with technical studies undertaken to support applications. However, applications may include requests for funding towards detailed engineering design and as-constructed surveys, which will be considered where justified.
- Mining/resource worker accommodation and on-site worker accommodation proposals, including tourism operations.
- Recovery of costs that are already funded through alternative sources or retrospective recovery of costs already incurred for infrastructure works already substantially commenced or completed.

- Projects seeking funding for ongoing operational or recurrent costs.
- Ongoing salaries/employment of new or existing staff.
- Purchase of land.
- Activities that would be undertaken in the normal course of business, such as routine replacement or upgrades of plant and equipment.
- Costs associated with safety upgrades for gas pipeline infrastructure.
- Projects being delivered directly by the Department of Housing and Works or DevelopmentWA.

Note: This does not include the proposed delivery of dwellings by a third party for lease by the Government Regional Officers Housing (GROH) or WA Country Health Service housing program (or similar), which may form part of an application to the Fund

5. Application requirements

Applications close at **5pm AWST Friday 19 December 2025**.

Applications must be submitted using SmartyGrants, the online grants management tool used by the Department. You will be required to include a business case and Budget Workplan with the SmartyGrants application. All applications, together with the supporting documentation, must be submitted by the closing date.

Should applicants experience technical difficulties submitting the application via SmartyGrants by the closing date, email rhsf@dph.wa.gov.au or call 6551 8002.

Applicants are advised to leave sufficient time to submit their application through SmartyGrants. Late applications will not be accepted, unless there are exceptional circumstances. Exceptional circumstances will be considered on merit, in accordance with probity principles to ensure fairness to all applicants.

A request for a late application must be emailed to rhsf@dph.wa.gov.au within three business days of the closing date and must include:

- Reasons and supporting evidence of the exceptional circumstances.
- The documents that would have been submitted through SmartyGrants including the business case.
- Application reference number provided through SmartyGrants.

Requests received outside of the three business days will not be considered.

A request for a late application will be considered by the Department and applicants will be advised of the decision. The decision is final and not subject to review or an appeal process. A request for a late application is not shared with the Evaluation Panel.

The business case must include sufficient information to demonstrate the suitability and feasibility of a proposal against the objectives, eligibility and assessment criteria outlined in these guidelines and include:

Project description

- Detailed project description including copies of plans prepared, project aims, overall cost, location and proposed timing of project activities.
- A schedule which demonstrates a pathway to delivery of the project.
- Demonstrate how dwellings will be maintained and managed for key workers or community housing for at least five to 10 years.

Costing and funding information

- Detailed project budget of the works required to deliver the project, including sources of funding and planned expenditure. Identify clearly which components funding is being sought and the amount. A Budget Workplan will be required (see Appendix 1).
 - A high degree of certainty of the costs is required. This could be supported by quotes from an infrastructure provider, report from a quantity surveyor or supporting evidence in the form of quotes.
 - Details regarding the financial viability of the project will be required, including demonstration that the project is not financially viable without public support.
- The degree of co-contribution to the project, including details of funding sources, considering the benefit the applicant will derive from the project, sharing of risk appropriately between private parties and Government.

Include details of funding arrangements for works required to deliver the lots or dwellings proposed, separate to any funding that may be requested/granted through this Fund.

Applicants are required to disclose whether any aspect of the proposal has received funding or whether it is intended that funding will be applied for (or has) from other grant or funding sources including local government, State Government or Australian Government funding. If a component of infrastructure for the project is eligible for funding from the Housing Enabling Infrastructure Fund or has received committed funding from the Infrastructure Development Fund, that particular infrastructure component will not be eligible for funding.

Approvals and technical studies

- Proof of 'shovel ready' status, a valid subdivision or development approval (or existing application) with sufficient time remaining to enable delivery of works following the funding assessment process.
- Where appropriate, technical studies and/or evidence of discussions with relevant agencies and authorities, which may include but not be limited to planning and servicing bodies. Collaboration with relevant infrastructure providers and authorities is encouraged.
- Whether the project requires any planning, environmental approval or any other related licenses, permits or approvals to allow the project to proceed, and whether they have been obtained or estimated timeframes for obtaining.

Demonstration of capability and need

- Degree of experience of the applicant in developing key worker housing, community housing sites and residential subdivision in regional locations.

- Where the applicant is a developer/landowner or community housing provider, they must demonstrate:
 - A sound financial track record, compliance with relevant regulations and capacity to deliver on the proposed project.
 - Measures are in place to minimise the potential risks associated with providing funding to the applicant and the risk of non-performance.

To assist, additional information, as suggested in Appendix 2, should be included in the business case and associated questions answered in the SmartyGrants application.

- Demonstration of an undersupply of housing and/or residential lots in the location and sufficient demand to absorb the lots or dwellings proposed to be supported by the investment within a five to 10-year period.
- Discussion on how the project represents value for money and will deliver benefit to the community.
- Demonstration that the project faces a feasibility gap and is not viable without public funding. This requires a combination of information sources as outlined in Appendix 3.

Visit the SmartyGrants application portal for a full list of required information, including documents to be uploaded.

Once completed, a PDF version of the application form can be downloaded by going to the 'Review and Submit' page in Form Navigation. This can be done at any time before submitting the application. Remember to save your progress as you go. You may re-enter the application using My Submissions at the top of the landing page once you have logged in.

You should pay close attention to attachments and evidence that support the application.

Email rhsf@dplh.wa.gov.au or call 6551 8002 or for assistance with submitting an application.

6. Assessing applicants

Once received, the Department will review the information submitted in the application to confirm it meets the eligibility criteria and all information requirements have been met. During the review process applicants may be asked to provide clarification to assist this process.

The Department may engage with other State Government agencies, service authorities or independent quantity surveyors or similar, for assistance in verifying applicant costs. Where this is required, information submitted with the application will be shared.

Only eligible and complete applications will move to the next stage, which is a competitive application assessment by an Evaluation Panel.

The Evaluation Panel will assess applications using the assessment criteria below. The outcome of the panel assessment will be provided to Government, through the Residential Lands and Housing Delivery (RLHD) Ministerial Oversight Committee (MOC) for its consideration.

The RDLH MOC will make the final determination regarding funding being granted for the project.

Meeting eligibility requirements does not guarantee funding will be provided. Unsuccessful applicants will be provided with a notice of the outcome and reasons for the decision.

Assessment Criteria

1. Capacity and Capability (30%)

Confidence in the delivery of the project through proven track record of success, sound methodology and project planning.

- Personnel, skills and experience, including:
 - Skills and experience of employees working on the project.
 - Skills and experience of consultants/contractors.
 - Experience in delivering housing and/or infrastructure projects.
- Resourcing the project including:
 - Availability of required building and construction contractors, materials and other goods and services required for the project.
- Funding the project:
 - Evidence of detailed project costings.
 - Degree by which a clear plan is provided of other funding sources and the level of certainty attached to these sources.
 - Evidence of co-contributions.
 - Demonstration of responsible and sound financial management.
- Project Planning:
 - Evidence of planning and/or approvals in place.
 - Project methodology and timeframes to achieve completion of the project or development within required timeframes.
 - Relevant service authority advice.
 - If the applicant has received previous grants (State or Commonwealth), demonstrated experience of complying with transparent reporting and meeting funding conditions attached to the grant/s.

2. Value for Money (25%)

- How the project provides value to the State and is appropriate for public funding.
- Consideration of levels of co-contribution and leveraging of other funding sources, including private investment.
- Total project budget and the proportion of project costs requested of the Fund.
- Degree of confidence that the funding will close the feasibility gap for the project.

3. Expected outcomes and alignment with Government Planning and Goals (20%)

- Level of consistency with the WA Government's strategic priorities and objectives including the relevant planning framework.
- The degree by which works will facilitate the timely delivery of housing or land located within a reasonable vicinity to employment locations amenities and services.
- How the project will delivery housing for key workers and/or community housing.

4. Location and Need (25%)

- A demonstrated undersupply of residential lots or dwellings in the project location and sufficient demand to absorb the lots or dwellings proposed to be supported by the investment within a five-to-10-year period.
- Whether the project is located in a priority location aligned with Government goals, including above the 26th parallel or in another area identified.
- The location of the proposed subdivision or development represents a logical and planned expansion of an existing townsite.

Government's Residential Lands and Housing Delivery Ministerial Oversight Committee reserves the right to offer a lower amount of funding. Note that proposals where funding requested exceeds \$5 million additional Government consideration beyond the Residential Lands and Housing Delivery Ministerial Oversight will be required.

7. Funding agreement

Successful applicants will be required to enter into a Funding Agreement. The Funding Agreement sets out the applicable terms and conditions and defines the roles and responsibilities.

There may be a provision in the funding agreement of a minimum period for retention to ensure the dwellings are available for existing key workers in the town or community housing providers.

It is generally expected that funded dwelling projects will be maintained for key workers or community housing purposes for a period of five to 10 years.

Reimbursement will occur against identified project delivery milestones as set out in the Funding Agreement. In general, applicants are able to seek reimbursement of infrastructure costs following their installation (and verification by appropriate service authorities) and remaining project costs at the time the subdivision or development project is delivered to market. Depending on the project, and as agreed with the recipient, the percentage and timing of reimbursements may differ. If this applies, this will be set out in the Funding Agreement. Where costs exceed the funding contribution the recipient is responsible for paying the balance.

Where power, water or sewer are proposed, it will be the preference of the Fund to provide approved funding direct to infrastructure providers (for example Water Corporation, Western Power or Horizon Power). This will be outlined in the Funding Agreement.

When the funded works are completed, the following documentation will be required:

- Itemised receipts demonstrating the proponent has incurred charges related to eligible costs. Note, where charges exceed the funding committed, the applicant will be responsible for meeting those costs.
- Sufficient information to demonstrate the applicant is the appropriate recipient of the funding.
- Evidence that a responsible authority has approved or certified works undertaken, and, where appropriate, has agreed to take ownership of the relevant infrastructure or works.

Or

- Certification of works by a suitably qualified independent person or superintendent under the works contract.
- When the subdivision or development is completed a Certificate of Title for lots created, proof of completion of construction, or Certificate of Occupancy for a dwelling (where required).

8. Project timing, reporting and acquittal

The project must be completed as set out in the Funding Agreement.

Successful applicants will be required to report on project progress and related measures. Reporting dates will be agreed at sign-off of the Funding Agreement. At the end of the project, successful applicants are required to submit a final report to demonstrate the project has been completed in line with the approved application, or as amended with agreement, and funding has been spent accountably.

9. Probity

The Department adheres to the Treasurer's Instructions and the Western Australian Grants Administration Guidelines. Accountability and transparency together with sound financial governance, risk management, and internal controls will be applied at all processes in the lifecycle of a grant. A probity advisor is consulted to assess and advise as appropriate including conflict of interest processes and procedures across the Fund grant process.

10. Our Charter

The Department's Customer Service Charter is available at [Strategic Engagement Framework](#). The charter sets out our commitment to service standards and our service standard to you.

11. Announcements of successful applications

Information regarding successful applications will be published on the Department's website. Information published will include:

- Applicant's name
- Location of project/development
- Project summary
- Funding amount

No commercial-in-confidence information will be published.

Enquiries and support

For any questions about these guidelines or to discuss your project, email rhsf@dplh.wa.gov.au or call 6551 8002.



Applications open

Stage 1: Application


- Applicant has shovel ready project/development (lots and/or dwellings).
- Applicant submits application through SmartyGrants, including Business Plan and Budget Workplan.



Assessment & Approval

Stage 2: Review and Assessment

- Department assesses application against eligibility criteria.
- If eligible, application progresses to competitive evaluation undertaken by the Evaluation Panel, with outcomes provided to Government's Residential Lands and Housing Delivery Ministerial Oversight Committee for determination.
- Successful applicant issued with Funding Agreement outlining the maximum grant for their project/development, funding payments against key milestones and reporting requirements.



Applicant to enter into works

Stage 3: Preparation of project/development

- Applicant proceeds according to Funding Agreement including interim reporting requirements.



Dispersal

Stage 4: Request for dispersal

- Applicant to claim grant funding by providing the Department with evidence of milestones and relevant invoices.
- Department to assess whether the claim is consistent with the Funding Agreement.
- Department to provide confirmation of the claim and subsequent payment.



Completion

Stage 5: Completion

- Lot creation must be completed within two years and construction of dwellings completed within four years of funding approval.
- Applicant to notify the Department of project completion including submission of satisfactory final report.

Appendix 1 – Budget Workplan

The Budget Workplan contained within the SmartyGrants application must be completed, setting out the detailed project budget with costs that are reasonable and reflective of market rates. Applications will not be considered without the completed workplan on the correct template. Industry cost benchmarks may be used to assess whether costs are reasonable.

The Budget Workplan requires applicants to set out the required works and the associated costs for these works. Works should be appropriately separated by category/work item line to provide meaningful information that allows assessment of the shortfall that funding is being sought for.

Quotations, where available, should be attached to the Budget Workplan. If the project receives other Government funding, set out the purpose of this funding against relevant works/activities.

The Budget Workplan will display the total value of the project and the total grant amount requested and the co-contribution the applicant is offering.

Appendix 2 – Additional Information for applications from non-government organisations

Where the applicant is a developer/landowner or community housing provider, information should be provided to demonstrate they will continue to operate/remain in business into the foreseeable future. This may include:

- An overview of the applicant's organisation, including organisational structure, clients/markets/industry sector.
- Disclosure of financial statements (three years), any adverse financial event or finding to the organisation or its directors.
- Where the applicant is a landowner, this information should include the area of land owned, details of other landowners or parties to the application.
- External validation of the organisation as a going concern.
- Letters of support from relevant stakeholders and parties, such as landowners, local governments, the relevant Regional Development Commission and other organisations benefiting from or contributing to the project.

Note: The Department reserves the right to seek an externally provided financial, credit and business viability assessment of any organisation or project which applies for funding. This may require the applicant to cooperate with that provider.

Appendix 3 – Demonstration of Feasibility Gap

Demonstration that a project faces a feasibility gap and is not viable without public funding can be achieved in a number of ways and may require a combination of information sources as set out below:

- Gap analysis, including a clear breakdown of total project costs (a consideration for land purchase can be included in calculations), revenue sources, operating costs versus available sources of funding with or without grant funding. Show the specific dollar amount or percentage that remains unfunded without support from the Regional Housing Support Fund.
- Demonstrate that private investors, lenders or developers are unwilling to fully fund the project due to low or uncertain return, high risk or market conditions. This will require correspondence from lenders or investors stating conditions, letters of intent and limits and evidence of previous attempts to secure funding.
- Market analysis which demonstrates market conditions cannot justify the project. Reference similar projects that only proceeded because of public support.
- Demonstrate that the project faces a cost premium, which may be due to location or site-specific challenges.
- Third-party validation of the feasibility gap or which provides credibility to the figures referenced.



13 BOOM STREET
GNANGARA
WESTERN AUSTRALIA
6077
t: 08 6377 8335
w: www.foxmodular.com.au
e: info@foxmodular.com.au

PROJECT DETAILS

JOB NO:
BUILDING:

DRAWING DETAILS

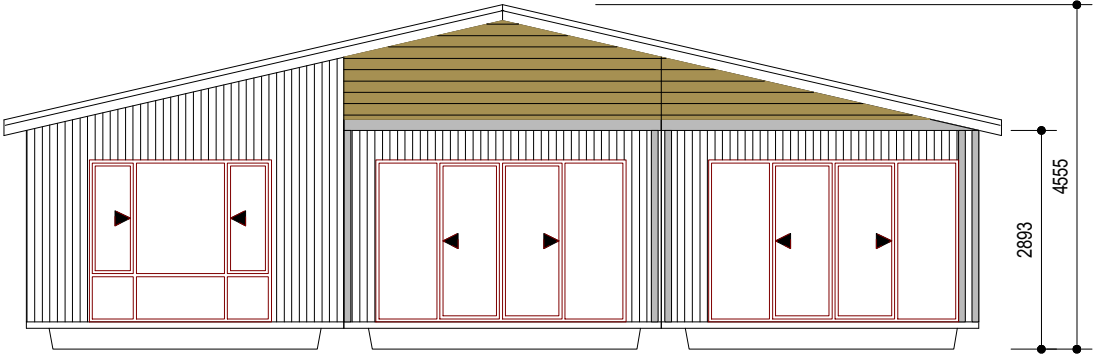
PAGE: 1

DRAWN: NR
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DATE:

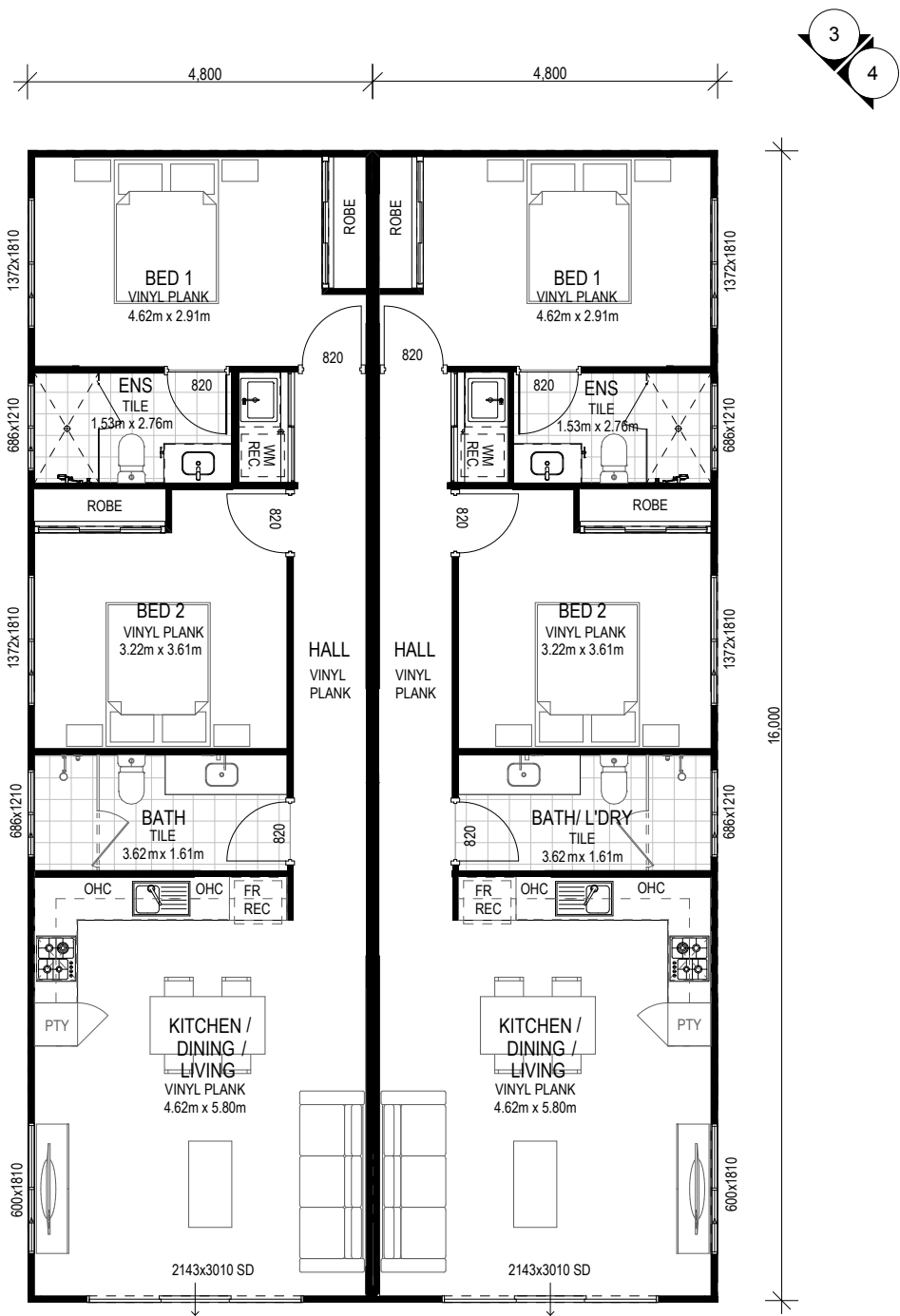
REVISIONS

NOTES

TOTAL AREA 163.804m²




TWO X 2 BED 2 BATH 16m x 4.8m



FLOOR PLAN
SCALE:1:100

COMMENTS:
FIRE SEPERATION WALL TO COMMON DOUBLE WALL
STAINLESS STEEL FLYSCREENS, IN LIEU OF STANDARD ALUMINIUM
STANDARD 5KW SPLIT SYSTEM AIR CON TO LIVING, ADD 2.5KW SPLIT SYSTEMS TO BOTH BEDROOMS
CEILING FANS TO LIVING & BOTH BEDROOMS
CEILING HEIGHTS 2700MM THROUGHOUT
GAS BAYONET TO LIVING AREA
STANDARD DATA PACK ALLOWANCE TO LIVING AREA. ADDITIONAL TELEPHONE POINT TO KITCHEN
12 DOWNLIGHTS THROUGHOUT (4 ADDITIONAL TO STANDARD 8 DOWNLIGHT ALLOWANCE)
HEAT PUMP HOT WATER SYSTEM
900MM RANGEHOOD

ELECTRIC OR GAS COOKTOP?
VINYL PLANK THROUGHOUT OR CARPETS TO BEDROOMS AND VINYL TO HALL & LIVING AREA? TILED WET AREAS
ACRYLIC SKYLIGHT DOME OR SKYLIGHTS? IF SO, TO WHAT AREAS IN THE HOME?



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WESTERN AUSTRALIA
6077

t: 08 6377 8335
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e: info@foxmodular.com.au

PROJECT DETAILS

JOB NO:
BUILDING:
CLIENT:
ADDRESS:

DRAWING DETAILS

PAGE: 1 OF 1
DRAWING:
SCALE:
DRAWN:
CHECKED:
DATE:

REVISION

NOTES

APPROVALS

WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALE.
THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, ENGINEERS DESIGNS, COMPUTATIOS, AND GEOTECHNICAL REPORT. WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS UNLESS NOMINATED IN CONTRACT OR SPECIFICATION.

DRAWINGS ARE ONLY ISSUED FOR CONSTRUCTION WHEN APPROVED AND SIGNED BY THE DESIGN OFFICE &/OR CONTRACTOR AUTHORISED SIGNATORY. ANY DOCUMENTS WITHOUT APPROVAL (INCLUDING ALL PDF OR EMAILED VERSIONS) ARE NOT TO BE USED FOR CONSTRUYCTION.

-THIS DRAWING IS COPYRIGHT - ANY INFRINGEMENT WILL RESULT IN LEGAL PROCEEDING.

OWNER 1:

DATE:

OWNER 2:

DATE:

WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

1544 911

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 274 ON DEPOSITED PLAN 209377

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

SHIRE OF MORAWA OF PO BOX 14 MORAWA WA 6623

(T Q158505) REGISTERED 2/10/2024

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1544-911 (274/DP209377)
PREVIOUS TITLE: 1425-747
PROPERTY STREET ADDRESS: 4 EVANS ST, MORAWA.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF MORAWA



Transfer B796792

WESTERN

AUSTRALIA

Volume 1425 Folio 747



1544 911



CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 12th October, 1979

REGISTRAR OF TITLES



ESTATE AND LAND REFERRED TO

Estate in fee simple in Morawa Lot 274, delineated and coloured green on the map in the Third Schedule hereto, limited however to the natural surface and therefrom to a depth of 12.19 metres.

FIRST SCHEDULE (continued overleaf)

~~Veronica June Studham of 6 Evans Street, Morawa, Married Woman~~

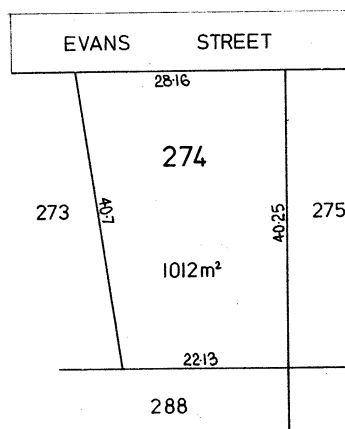
SECOND SCHEDULE (continued overleaf)

NIL

REGISTRAR OF TITLES

THIRD SCHEDULE





Scale 1 : 750
Public Plan Morawa T/Site
W6.














NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72009/12/77-45M-S/2860

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

FIRST SCHEDULE (continued)									
NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.									
REGISTERED PROPRIETOR		INSTRUMENT		REGISTERED	TIME	SEAL	INITIALS		
		NATURE	NUMBER						
<u>Donald Burns McLaughlin, Contractor and Margaret Lamont McLaughlin, Married Woman, both of 8 Valentine Street, Morawa, as joint tenants.</u> <u>Roderick Arthur Bayliss and June Fay Bayliss both of 249 Bell Court, Leeman, as joint tenants</u> The correct address of the registered proprietors is now <u>Post Office Box 127, Leeman</u> The address of the registered proprietors is now <u>18 Wandoo Street, Geraldton.</u>		Transfer	C722506	2.3.84	10.52		DB		
		Transfer	E780843	6.1.92	13.24		MA		
		By	F988611	25.9.95	8.15		BS		
		Notification	H46898	9.3.99	12.05		CL		

SECOND SCHEDULE (continued)												
NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.												
INSTRUMENT		PARTICULARS		REGISTERED	TIME	SEAL	INITIALS	CANCELLATION	NUMBER	REGISTERED OR LODGED	SEAL	INITIALS
Mortgage	D210550	to Westpac Banking Corporation		7.3.86	9.06			Discharged	D748764	11.5.88		
Mortgage	D748765	to Westpac Banking Corporation		11.5.88	9.13			Discharged	E780942	6.1.92		
Mortgage	F988611	to Westpac Banking Corporation.		25.9.95	8.15			Discharged	H46897	9.3.99		
						</						

From: [BYDA - Telstra \(WA\)](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923089 - Referral 265571680 - RHFS
Date: Thursday, 11 December 2025 9:32:08 AM
Attachments: [1B695937.gif](#)
[1B009332.gif](#)
[1B939617.gif](#)
[1B181144.gif](#)
[1B618392.gif](#)
[1B788548.gif](#)
[1B524168.gif](#)
[1B158364.gif](#)
[1B967143.gif](#)
[265571680.pdf](#)
[Telstra Duty of Care v33.0a.pdf](#)
[Telstra Map Legend v4_0c.pdf](#)
[AccreditedPlantLocators 2025-09-16a.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

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This content was sent by email from Telstra (WA) in response to your Before You Dig enquiry.

Original subject	DBYD JOB: 51923089 SEQ: 265571680 - 4 Evans St, Morawa WA 6623
Original sender	TAMS@dominoapp.in.telstra.com.au
Received	11 Dec 2025 9:31:25am AWST




Attention: Marty Symmons

Site Location: 4 Evans St, Morawa, WA 6623

Your Job Reference: RHFS

Please do not reply to this email, this is an automated message -

Thank you for requesting Telstra information via Before You Dig Australia (BYDA). This response contains Telstra Information relating to your recent request.

 Accredited Plant Locator	General Contact Information including applications required to view Cable Plans - DWF & PDF
 Telstra Duty of Care V32	Your responsibility and Legal requirements working near Telstra's Assets
 Telstra Map Legend 4.0	Common Symbols on Cable Plans and Safe Clearance distances when working near Telstra Assets







Please note:

When working in the vicinity of telecommunications plant you have a 'Duty of Care' that must be observed.

Ensure you read all documents (attached) - they contain important information.

In particular please read and familiarise yourself with the Before you Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>, as these documents set out the essential steps that must be undertaken prior to commencing construction activities.

 <p>Best practice guides and the five P's of safe excavation</p>	<p>These are the essential steps to be undertaken prior to commencing construction activities</p>	<p>Essential Steps : Link</p> <p>5 P's: Link</p>
	<p>We highly recommend using certified locators where possible.</p>	<p>CERTLOC : Link</p>
 <p>1800 653 935</p> <p>Telstra Plan Services</p>	<p>Whenever in doubt please contact this number for Telstra BYDA map related enquiries email Telstra.Plans@team.telstra.com</p>	<p>Note: that Telstra plans are only valid for 60 days from the date of issue</p>
 <p>How to Report Damage to Telstra Equipment</p>	<p>If you think you have damaged Telstra Assets, please Report it ASAP.</p>	<p>Call: 13 22 03</p> <p>Report Online: Link</p>
	<p>It is a criminal offence under the 'Criminal code act 1995' to tamper or interfere with Telecommunications infrastructure. Telstra will take action to recover compensation for the damage caused to property and assets, and for interference with the operation of Telstra's networks and customer service.</p>	
	<p>Telstra plans contain confidential information and are provided on the basis that they are used solely for identifying location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause loss or damage. You must comply with any other terms of access to the data that have been provided by you by Telstra (including conditions of use or access).</p>	

WARNING - MAJOR CABLES and/or OPTIC FIBRE IN THE AREA.
Phone 1800 653 935 for further assistance.

Note: In some areas Telstra fibre routes may be marked as "Amcom", as Telstra has purchased much of this infrastructure. If in doubt, please contact Telstra Plan services on the number above. Telstra plans and information are only valid for 60 days from the date of issue.

WARNING:

Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing them. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra assets prior to commencing work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. See the **Before You Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation** <https://www.byda.com.au/before-you-dig/best-practice-guides/>.

Please note that:

- it is a criminal offence under the *Criminal Code Act* 1995 (Cth) to tamper or interfere with telecommunications infrastructure.
- Telstra will take action to recover compensation for damage caused to property and assets, and for interference with the operation of Telstra's networks and customers' services.

Telstra's plans contain Telstra's confidential information and are provided on the basis that they are used solely for identifying the location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause Telstra loss or damage and you must comply with any other terms of access to the data that have been provided to you by Telstra (including Conditions of Use or Access).

(See attached file: Telstra Duty of Care v33.0a.pdf)

(See attached file: Telstra Map Legend v4_0c.pdf)

(See attached file: AccreditedPlantLocators 2025-09-16a.pdf)

(See attached file: 265571680.pdf)

Before You Dig Australia

Think before you dig

This document has been sent to you because you requested plans of the Telstra network through Before You Dig Australia (BYDA).

If you are working or excavating near telecommunications cables, or there is a chance that cables are located near your site, you are responsible to avoid causing damage to the Telstra network.

Please read this document carefully. Taking your time now and following the **BYDA's Best Practices and 5 Ps of Safe Excavation** <https://www.byda.com.au/before-you-dig/best-practice-guides/>

can help you avoid damaging our network, interrupting services, and potentially incurring civil and criminal penalties.

Our network is complex and working near it requires expert knowledge. Do not attempt these activities if you are not qualified to do so.



Disclaimer and legal details

*Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013.

It is a criminal offence under the Criminal Code Act 1995 (Cth) to tamper or interfere with telecommunications infrastructure.

Telstra will also take action to recover costs and damages from persons who damage assets or interfere with the operation of **Telstra's** networks.

By receiving this information including the indicative plans that are provided as part of this information package you confirm that you understand and accept the risks of working near **Telstra's** network and the importance of taking all the necessary steps to confirm the presence, alignments and various depths of **Telstra's** network. This in addition to, and not in replacement of, any duties and obligations you have under applicable law.

When working in the vicinity of a telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

The Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas, then you must not attempt these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers. Construction activities and/or any activities that potentially may impact on Telstra's assets must not commence without first undertaking these steps. Construction activities can include anything that involves breaking ground, potentially affecting Telstra assets.

If you are designing a project, it is recommended that you also undertake these steps to validate underground assets prior to committing to your design.

This Notice has been provided as a guide only and may not provide you with all the information that is required for you to determine what assets are on or near your site of interest. You will also need to collate and understand all information received from other Utilities and understand that some Utilities are not a part of the BYDA program and make your own enquiries as appropriate. It is the responsibility of the entities arranging for the works to be performed, supervising the works, and undertaking the works to protect Telstra network during excavation / construction works.

Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.

Telstra plans or other details are provided only for the use of the applicant, its servants, agents, or CERTLOC Certified Locating Organisation (CLO). The applicant must not give the plans or details to any parties other than these and must not generate profit from commercialising the plans or details. If the Applicant is aware of another party or parties about to perform or performing works at the location, it should ensure that the other party or parties have lodged a BYDA enquiry and obtained plans for that location. If you are undertaking excavations works you must follow the 5Ps of Safe Excavation. The 5 Ps of Safe Excavation are set out in the video in the below link.

<https://www.byda.com.au/education/resources/>

Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided always remains on-site throughout the inspection, location, and construction phase of any works.

Telstra plans are valid for 60 days after issue and must be replaced if required after the 60 days.

Data Extraction Fees

In some instances, a data extraction fee may be applicable for the supply of Telstra information. Typically, a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Location Intelligence Team.

Telstra does not accept any liability or responsibility for the performance of or advice given by a CERTLOC Certified Locating Organisation (CLO). Certification is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

Neither the Certified Locating Organisation nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Certified Locating Organisation or its employees.

Once all work is completed, the excavation should be reinstated with the same type of excavated material unless specified by Telstra.

The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

When using excavators and other machinery, also check the location of overhead power lines.

Workers and equipment must maintain safety exclusion zones around power lines

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Privacy Note

Your information has been provided to Telstra by BYDA to enable Telstra to respond to your BYDA request. Telstra keeps your information in accordance with its privacy statement. You can obtain a copy at www.telstra.com.au/privacy or by calling us at 1800 039 059 (business hours only).

General Information



Before you Dig Australia – BEST PRACTISE GUIDES
<https://www.byda.com.au/before-you-dig/best-practice-guides/>

OPENING ELECTRONIC MAP ATTACHMENTS –

Telstra Cable Plans are generated automatically in either PDF or DWF file types.
Dependent on the site address and the size of area selected.
You may need to download and install free viewing software from the internet e.g.



DWF Map Files (all sizes over A3)
Autodesk Viewer (Internet Browser) <https://viewer.autodesk.com/> or
Autodesk Design Review <http://usa.autodesk.com/design-review/> for DWF files.
(Windows PC)



PDF Map Files (max size A3)
Adobe Acrobat Reader <http://get.adobe.com/reader/>



Telstra New Connections / Disconnections
13 22 00



Telstra Protection & Relocation: 1800 810 443 (AEST business hours only).
[Email](#)
Telstra Protection & Relocation Fact Sheet: [Link](#)
Telstra Protection & Relocation Home Page [Link](#)



Telstra Aerial Assets Group (overhead network)
1800 047 909

Protect our Network:

by maintaining the following distances from our assets:

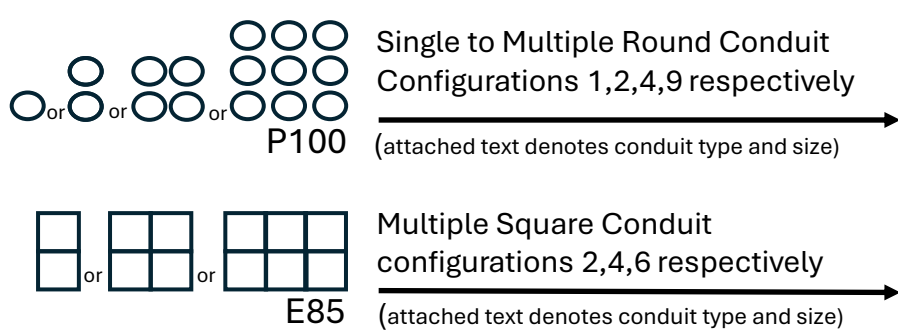
- 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- 500mm Vibrating Plate or Wacker Packer Compactor
- 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant.
- 1.0m Jackhammers/Pneumatic Breakers
- 2.0m Boring Equipment (in-line, horizontal and vertical)

For more info contact a [CERTLOC Certified Locating Organisation \(CLO\)](#) or
Telstra Location Intelligence Team 1800 653 935

LEGEND



	Leadin terminates at a Customer Address		Cable Joining Pit Number / Letter indicating Pit type/size
	Exchange Major Cable Present		Elevated Joint (above ground joint on buried cable)
	Pillar / Cabinet Above ground Free Standing		Telstra Plant in shared Utility trench
	Above ground Complex Equipment Please note: Powered by 240v electricity		Aerial cable / or cable on wall
OC	Other Carrier Telecommunication Cable/ Asset. Not Telstra Owned		Aerial cable (attached to joint use Pole e.g., Power Pole)
DIST	Distribution cables in Main Cable Ducts		Marker Post Installed
MC	Main Cable ducts on a Distribution Plan		Buried Transponder
	Blocked or Damaged Duct		Marker Post & Transponder
	Footway Access Chamber (can vary between 1-lid to 12-lid)		Optical Fibre Cable Direct Buried
	NBN Pillar		Direct Buried Cable
	Third Party Owned Network Non-Telstra		nbn owned network



Some examples of conduit type and size:

A - Asbestos cement, P - PVC / Plastic, C - Concrete, GI - Galvanised Iron, E - Earthenware

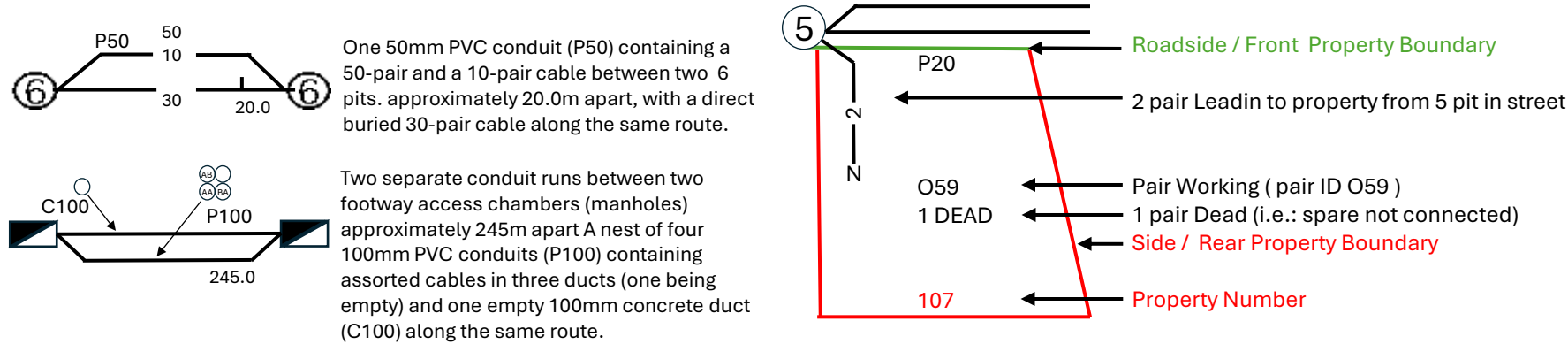
Conduit sizes nominally range from 20mm to 100mm

P50 50mm PVC conduit

P100 100mm PVC conduit

A100 100mm asbestos cement conduit

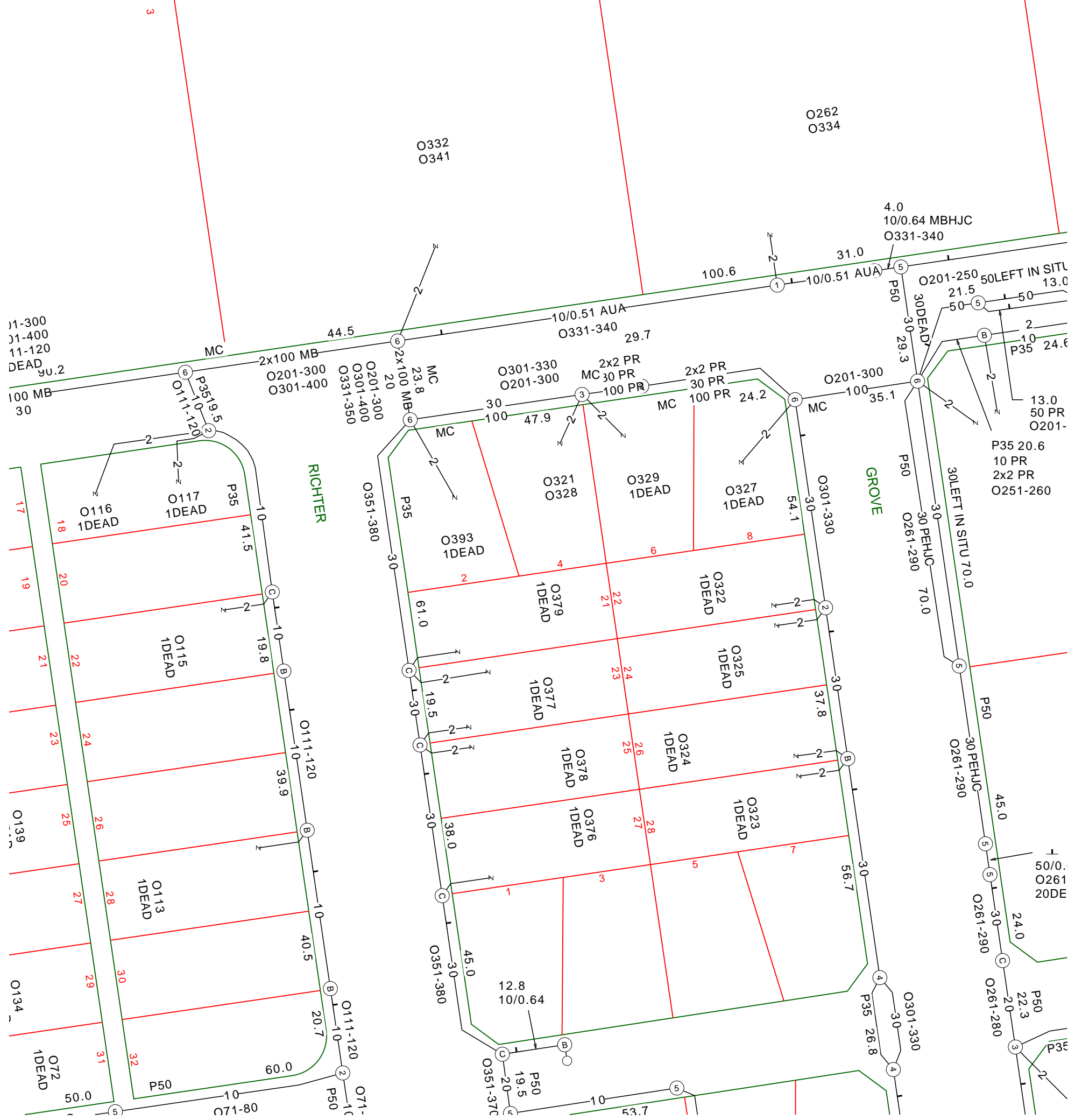
Some Examples of how to read Telstra Plans



The 5 Ps of Safe Excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>

<h3>Plan</h3> <p>Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.</p>	<h3>Prepare</h3> <p>Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a Certified Locator.</p>	<h3>Pothole</h3> <p>Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.</p>	<h3>Protect</h3> <p>Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.</p>	<h3>Proceed</h3> <p>Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.</p>
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TELSTRA LIMITED A.C.N. 086 174 781

Sequence Number: 265571680

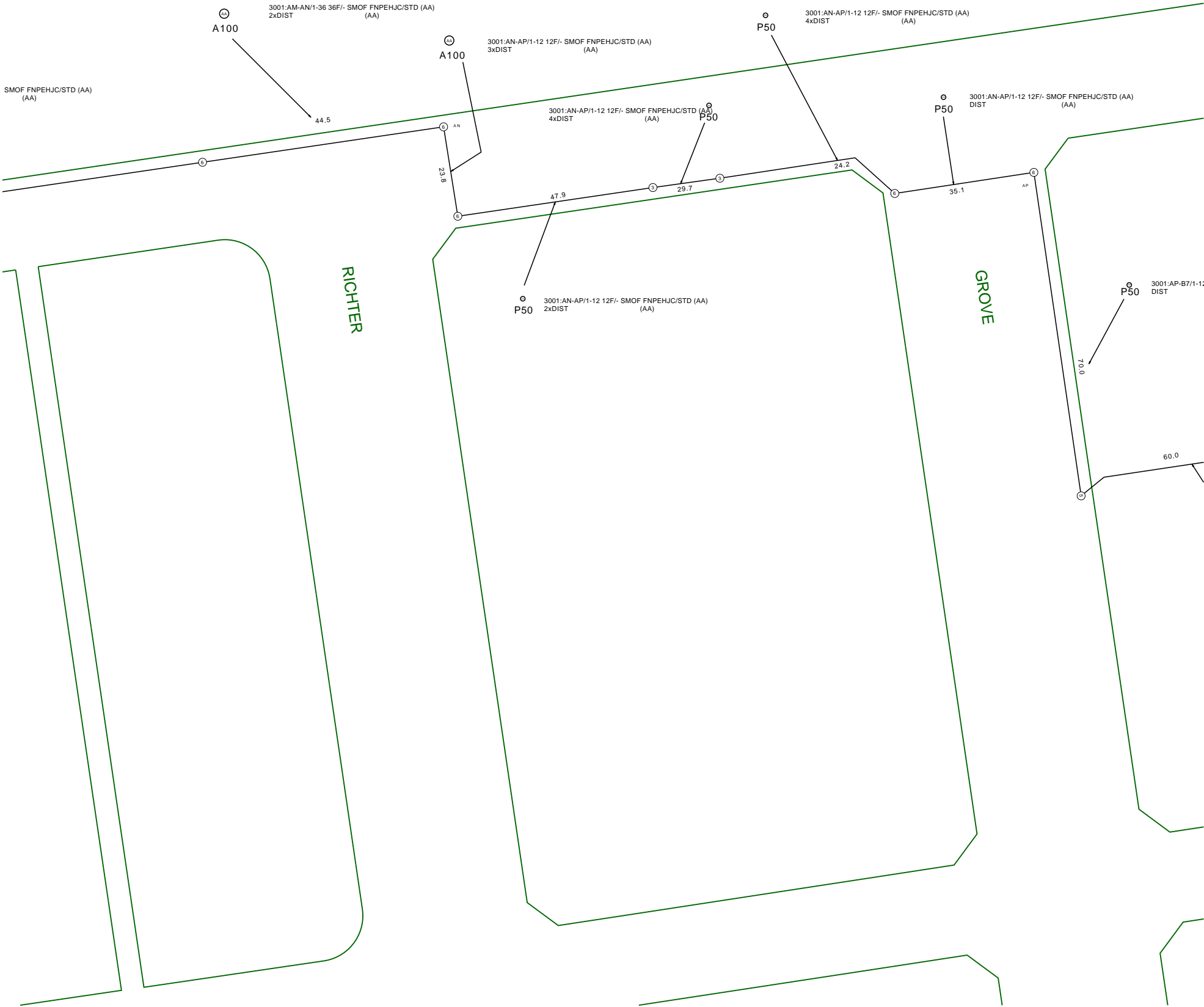
CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.


The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Mains Cable Plan



	Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra- Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 265571680
TELSTRA LIMITED A.C.N. 086 174 781 Generated On 11/12/2025 12:23:51		CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Page 2 of 2

From: [BYDA - Water Corporation](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923089 - Referral 265571679 - RHFS
Date: Thursday, 11 December 2025 9:19:36 AM
Attachments: [265571679 - Water Corp Cover letter.pdf](#)
[265571679 - Water Corp - Critical Water Assets Plan.pdf](#)
[Information Brochure - Legend.pdf](#)
[Public Safety - Excavation.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Water Corporation in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923089, Sequence No 265571679
Original sender	watercorp@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:18:31am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923089

Sequence no.: 265571679

Requested Location Address:

4 Evans St

Morawa WA 6623

Attached are the files related to your recent BYDA request. Please review all the attached documentation carefully.

For any enquiries, contact Asset Protection at **POS_enquiries@watercorporation.com.au**.

Important Note: Plans are now provided as separate attachments - please ensure you review all attached documents.

If you have received this email in error, please let us know by contacting **POS_enquiries@watercorporation.com.au** and quoting the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp



WATER CORPORATION UNDERGROUND ASSET DETAILS

Requestor details:

Marty Symmons
Not supplied
26 Winfield Street
Morawa WA 6623
Phone: +61427711204

Sequence No: 265571679
BYDA Job No: 51923089
Enquiry Date: 11 Dec 2025
Issue Date: 11 Dec 2025

Requested location details:

Address: 4 Evans St, Morawa WA 6623

Note: The response for this enquiry has been interpreted from details in the picture location only.

Water Corporation asset impact:

WARNING - CRITICAL PIPELINES FOUND

The area you requested contains a critical pipeline. You may need to contact us with regard to this request prior to digging – see attached documents.

Important:

1. Plans show approximate location only – verify location by potholing before using powered machinery.
2. Please read all information and attachments.
3. All documents must be kept together and retained on site by the work team.
4. This information is valid for 30 days from date of issue.

Excavation

Excavation can be dangerous, especially if you're digging without knowing what's below. If you're excavating, it's your responsibility to locate Water Corporation assets and prevent contact to keep you, your team and the community safe.

This information is important if you're a planner, construction worker, supervisor, or in similar roles.

Duty of care

The safety of your workers and the public remains your responsibility, as per Work Health and Safety Regulations 2022 - Reg 34, 35 & 36.

Make sure you positively locate all assets before excavating and have a safe system of work. All work must be in accordance with the relevant acts, regulations, standards and codes of practice.

Risk of working near our assets

Water Corporation has a vast network with different risks depending on the asset and location:

- **Energy release:** sudden release of high pressure or high flowing water, which can result in collapse of excavations, buildings and impact to people. The sudden release of large volumes of water under pressure is dangerous and can lead to drowning, significant structural damage, community or supply disruption and traffic hazards.
- **Electricity:** electric shock exposure due to asset age, electrical assets located close to our pipelines, electric faults, equipment failure and lightning.
- **Falls:** pits and access chambers, which create fall and drowning risks.
- **Hazardous materials:** biohazards from the release of wastewater with infectious agents and toxic or flammable gases. Pipelines may contain or be coated with hazardous materials.

Secondary hazards may result from damage or disruption to Water Corporation infrastructure.

It's important to assess the risks associated with your work.

Ensure you have your Before You Dig Australia (BYDA) plans.

Lodge a free enquiry online
www.byda.com.au

Before you dig – remember the 5 Ps:

1. Plan	2. Prepare	3. Pothole	4. Protect	5. Proceed
<ul style="list-style-type: none">• Plan ahead by lodging your BYDA enquiry, and ensure you have the correct information to carry out work safely.• Plan ahead by applying for an APRA on our website. Search Working Near Our Assets.	<ul style="list-style-type: none">• Prepare by reviewing the utility plans and contact the asset owners if you need help.• Perform a site inspection- identify any surface indicators of underground asset clues such as pit lids, marker posts and meters.• Engage a skilled locator to locate assets electronically before potholing	<ul style="list-style-type: none">• Pothole, using the asset owner's stated method as specified on the plans and information pack.• Pothole methods include hand digging and hydro vacuum extraction• Backfill potholes on completion	<ul style="list-style-type: none">• Protect any exposed utility assets, ensure to contact the utility providers and seek direction	<ul style="list-style-type: none">• Proceed with care -once all checks have been completed and all relevant permits and authorisations are granted.

Never rely on BYDA plans on as the sole means of locating assets; follow all five steps.

Never use an excavator to identify the underground asset.

Our danger zones

Water Corporation assets have a prescribed proximity. These vary due to asset size and type. It's important to know the danger zones to keep yourself safe. Locate the assets before performing work. Excavations can undermine assets, so always follow the [Excavation: Code of practice](#).

Approval is required if your proposed work is in, on, over, under or within the prescribed proximities to our assets (as per [Water Services Act 2012](#)– Sections 88 and 90).

Type of work	Asset type	Asset size	Prescribed proximity (distance from the asset)
<i>Including movement of heavy vehicles, ground compaction, dewatering, earthworks, open and trenchless excavations</i>	Sewer pipelines	All	2m
	Main drains		
	Water supply pipelines	< 300mm diameter	4m
	Water supply pipelines	≥ 300mm diameter	6m
	Sewer pressure pipelines	All	
	Drainage pressure mains		

Prescribed proximity information taken from the Water Corporation [Technical Guidelines](#).

Changes to site conditions

If site conditions change, stop work and reassess the risks.

Contact for support

Asset Protection: POS_enquiries@watercorporation.com.au

Technical and Building enquiries: visit our [website](#) or call 13 13 95

To get our approval visit
[Working near our assets](#)

In case of emergency

Life-threatening emergency; contact Emergency Services on 000.

Water or wastewater emergencies; contact Faults and Emergencies (24/7) on 13 13 75.

Disclaimer

Any plans or other information provided by Water Corporation must be used as a guide only. Plans (including the location of pipes and other assets) are approximate only and it is your responsibility to locate the exact location of Water Corporation assets before commencing work. Water Corporation does not warrant or make any representation as to the accuracy, completeness, reliability, currency, quality or fitness for purpose of any plans or other information (including, but not limited to, the accuracy of the scale of, or the location of, anything shown on any plan or diagram).

Plan Legend (summary)



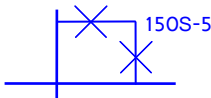
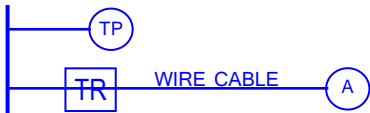





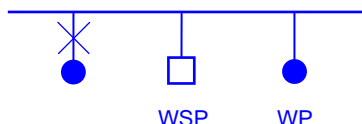
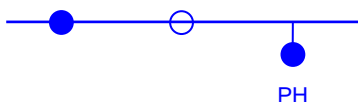
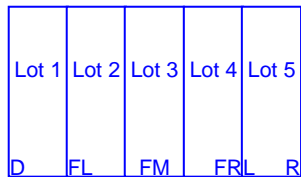


INFORMATION BROCHURE

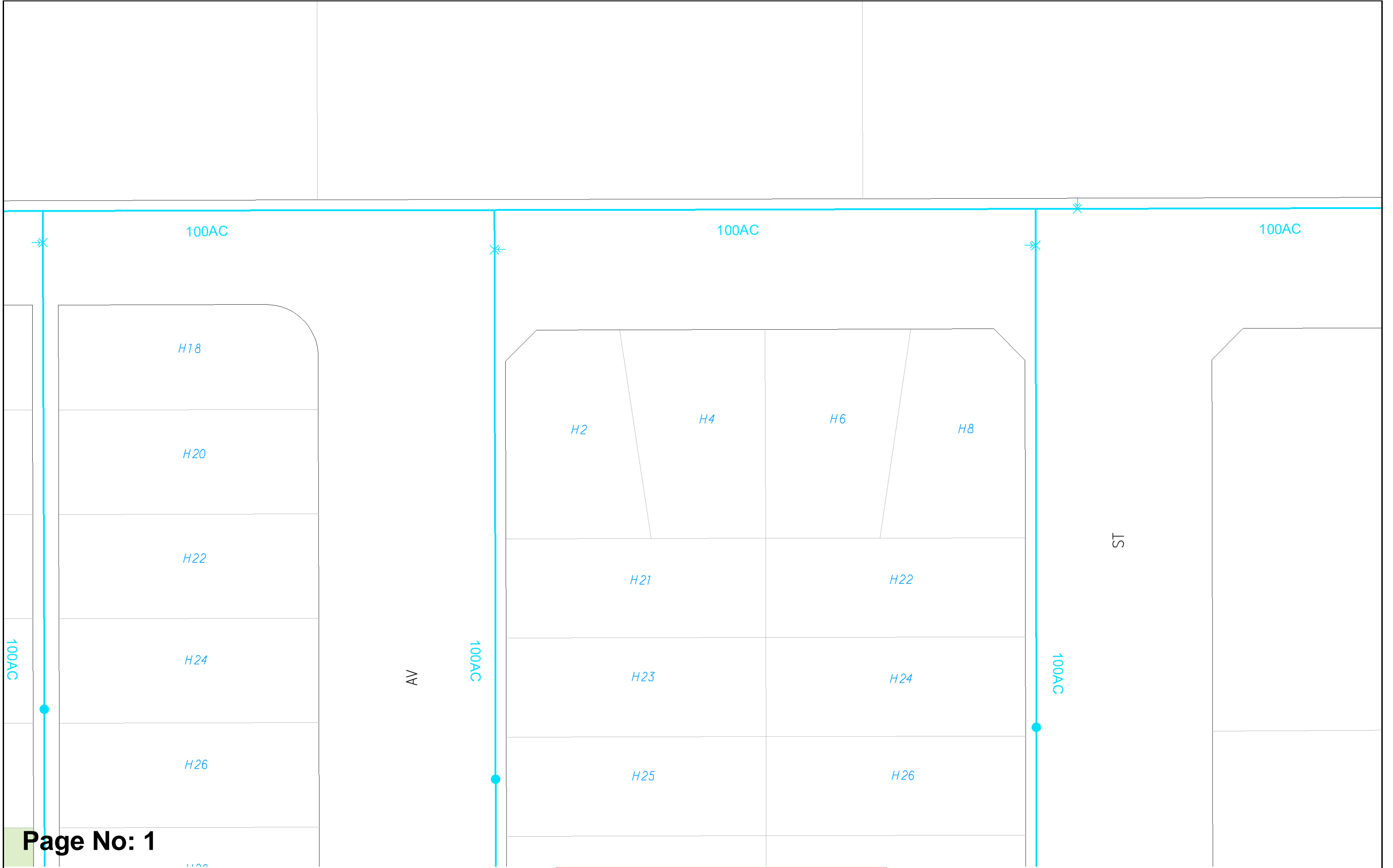


This legend is provided to [Dial Before You Dig](#) users to assist with interpreting Water Corporation plans. A more detailed colour version can be downloaded from www.watercorporation.com.au. (Your business > Working near pipelines > Downloads)

WARNING - Plans may not show all pipes or associated equipment at a site, or their accurate location. **Pothole by hand** to verify asset location before using powered machinery.

	<p>WATER, SEWERAGE AND DRAINAGE PIPELINES</p> <p>CRITICAL PIPELINE (thick line) EXTRA CAUTION REQUIRED A risk assessment may be required if working near this pipe. Refer to your Dial Before You Dig information or call 131375.</p> <p>Pipes are not always labelled on plans as shown here – assume all pipes are significant and pothole to prove location and depth.</p> <p>P.M. pressure main M.S. main sewer R rising main (i.e. drainage pressure main)</p> <p>Common material abbreviations:</p> <p>AC asbestos cement e.g. 100AC NOTE: AC is brittle and is easily damaged. CI cast iron GRP glass reinforced plastic P PVC - class follows pipe material (e.g.100P-12) RC reinforced concrete S steel VC vitrified clay</p>
	<p>NON-STANDARD ALIGNMENT</p> <p>Pipes are not always located on standard alignments due to local conditions. (i.e. Other than 2.1 m for reticulation mains and 4.5 m for distribution mains.)</p>
	<p>OTHER PIPE SYMBOLS</p> <p>Other numbers or codes shown on pipes are not physical attributes. These are Water Corporation use only.</p>
	<p>CONCRETE ENCASEMENT, SLEEVING AND TUNNELS</p> <p>May be in different forms: steel, poured concrete, box sections, slabs.</p>
	<p>CHANGE INDICATOR ARROW</p> <p>Indicates a change in pipe type or size. e.g. 150mm diameter PVC to 150mm diameter asbestos cement (AC).</p>
	<p>PIPE OVERPASS</p> <p>The overpass symbol indicates the shallower of the two pipes.</p>
	<p>VALVES</p> <p>Many different valve types are in use. Valve may be in a pit or have a visible valve cover. There may be no surface indication.</p> <p>Valves may be shallower than the main or offset from it. e.g. A scour valve (SC) may have a pipe coming away from main pipeline on the opposite side to that indicated on the plan.</p>

 	FIRE SERVICES 100 mm polythene domestic (DOMS) service FS Fire service FHS Fire hydrant service Hydrant may be visible external to the building. Even if not visible a substantial fire service may still be present.	
	PIPE BYPASS Bypass will not be on the same alignment as the main pipeline.	
	CATHODIC PROTECTION (CP) Buried CP equipment may be located some distance from the pipeline being protected interconnected by buried cable. All CP fittings may not be visible. A buried anode – various sizes and configurations TP test point - may be visible on a post or in-ground TR transformer rectifier	
	ACCESS TEE OR MANHOLE OR SERVICE ACCESS PIT NOTE: Opening any manhole or pit is dangerous and is prohibited. Below ground. May not be any visible signs at ground level or may be located in a pit.	
	WASTEWATER ACCESS CHAMBERS (MANHOLES) -- Manhole (shown not labelled) -- Tee or maintenance shaft (shown not labelled) MS maintenance shaft (labelled) WARNING: Opening any manhole or pit is dangerous and is prohibited.	
	WASTEWATER MANHOLE INFORMATION BOXES Square non-trafficable Do not drive vehicles over or place loads. Round trafficable In general if not located in the road treat as if non-trafficable.	
	HAZARDOUS MANHOLE Indicates a potential health hazard from risk of exposure to toxic waste. WARNING: Opening any manhole is dangerous and is prohibited.	
	FLOWMETER Various types of flow meters located in a pit. May be labelled with identifier. (e.g. 50 MFM, 50MM)	
	STANDPIPE, WATER SAMPLING POINT (WSP), WATER SUPPLY POINT (WP) May be located adjacent to mains. Usually there will be some visible indication.	
	Hydrant May not be visible. Hydrant Tee May not be visible. Pillar hydrant Visible	
	PRE-LAID SERVICES D Deferred FL Fully Prelaid Left FM Fully Prelaid Front Middle FR Fully Prelaid Right L Left R Right Code indicates on which side of a lot the water service is located: May be no visible indication at site.	
	SEWER OR DRAINAGE PUMP STATION Several pipes and a pressurised main will be in the vicinity.	
	OPEN CHANNEL OA Landscaped OE Normal Open Earth OF Open channel with flood levee OH Half Pipe OL Lined Channel OS Swale-Shallow Depression OW Natural Water Course	Drainage structures, even if dry, must be kept clear of any obstruction such as sand stockpiles.



Page No: 1

From: [BYDA - Western Power](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923089 - Referral 265571678 - RHFS
Date: Thursday, 11 December 2025 9:20:54 AM
Attachments: [265571678 - Western Power Response letter.pdf](#)
[265571678 - Western Power - Overhead Plan.pdf](#)
[Western Power - Safety Brochure.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Western Power in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923089, Sequence No 265571678 - 4 Evans St, Morawa WA 6623
Original sender	westernpower@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:20:00am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923089

Sequence no.: 265571678

Dig site location:

4 Evans St

Morawa WA 6623

Attached are the files containing Western Power information relating to your recent BYDA request. Please read and understand all the attached documentation provided and call [13 10 87](#) if you have any queries.

Note: Plans are now supplied as separate attachments - please ensure that you review all attached documents

If you have received this email in error, please advise us by calling [13 10 87](#) and quote the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp





Date: 11 Dec 2025

To: Marty Symmons
Company: Not Supplied
Phone Details: +61427711204
Email Address: 7fz45zo1mmm4v.0no6vaerybbcas@smarterwx-mail.byda.com.au

Sequence Number: 265571678
Job Number: 51923089
Dig Site Location: Morawa, WA 6623

Before You Dig Australia information sheet

This information related to both underground and overhead network assets and is valid for **30 days from the date of issue. You must refer to current plans at all times.**

- **The *Energy Operators (Powers) Act 1979* makes it an offence to damage Western Power's network.**
- **The *Work Health and Safety (General) Regulations* establish restrictions for working safely around the Western Power network.**
- **Western Power's *Network Policy and Standards* along with applicable easement conditions establish restrictions for development around the Western Power network.**

It is the duty of care of persons planning to work or develop around Western Power's network to comply with the requirements of these statutory obligations and any other legislation, standard or guidance relevant.

Western Power's network assets are classified below:

Network Asset	Classification
Transmission	66kV or greater
Distribution	33kV or less (including low voltage)
Communication and other cables	communications, pilot cables, fibre optics, earths

General information

- Any information provided is a guide only and is subject to conditions of use
- Not all underground assets may be shown. If you discover a cable NOT shown on your map or you wish to clarify the construction status of assets in Design Areas, contact Western Power on **13 10 87**.
- You must make use of safe non-destructive methods (including, but not limited to, the 5 Ps) before carrying out any excavation work. It is mandatory for the customer/excavator/contractor to physically locate all services before excavating.



363 Wellington Street Perth 6000
GPO Box L921 Perth WA 6842
westernpower.com.au



↑ 13 10 87
f (08) 9225 2660
TTY 1800 13 13 51
TIS 13 14 50

Electricity Networks Corporation
ABN: 18 540 492 861

- Never assume the depth and alignment of cables. It may vary over time, depending on ground condition, age of the cable, road resurfacing, landscaping, etc.
- If you are unsure, you should stop work and refer to a qualified service locator.
- You can refer to the Utility Providers Code of Practice for Western Australia for further information regarding street works in public road reserves

Danger zones and minimum approach distances

A person conducting a business or undertaking or a person with management of control of a workplace is required under the *Work Health and Safety (General) Regulations 2022* to ensure that a worker (or plant or material of the worker) does not come within an unsafe distance of an underground powerline or within the danger zone for an overhead powerline. A danger zone represents an area of high risk when working and developing around the Western Power overhead network. It is a requirement to work and develop outside of these areas.

Minimum approach distances for underground cables

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/non-destructive digging
Up to and including 1,000V (low voltage)	30cm	Approach with care, avoid contact
1,000V up to and including 33kV (high voltage)	50cm	
Greater than 33kV up to and including 330kV (transmission)	3m (Western Power must assess any works within 3m of cables 33kV and above)	

Danger zones for overhead powerlines:

Nominal voltage	Minimum approach distance
Low voltage (0 – 1000 volts)	1m
High voltage (>1000 to 33,000 volts)	3m
Transmission (>33,000 to 330,000 volts)	6m

If you propose to work/develop within or close to these areas, contact our Customer Service Centre on 13 10 87. Please allow adequate time before you commence work to discuss your options.

Easements

Works within a Western Power easement area are required to comply with applicable restrictions under Western Power's standard easement conditions. These conditions are established under the relevant easement document on the Certificate of Title which can be obtained from Landgate at your own cost (additional fees may apply).

If there is no easement, you must still follow Western Power's Network Policy and Standards (available at <https://www.westernpower.com.au/industry/manuals-guides-standards/> or by calling **13 10 87**).

Map legend information

Label	Meaning
Proposed Construction Assets	Overhead/underground assets may possibly be found in the Design Area shaded on the plan.
Design Area	Fieldworks are possibly in progress or just completed and the plans supplied may differ from the current state in the ground or overhead.
UG Crossing	There could be multiple underground ducts at that location.

Not depicted on Western Power Before You Dig Australia plans

Label	Meaning
Cables within a private property	For example, from pillar (green dome) to your electric meter. A cable-locating company will have to be contacted for on-site locations in the private property.

State Underground Power Program (SUPP) in progress or completed

Retrospective large-scale undergrounding of power and/or communications assets has been identified in the vicinity of your enquiry.

Please refer to the attached plan(s), for instructions or additional information.

Large Scale Undergrounding in Progress

Not all underground assets shown, there may be uncommissioned underground assets installed. Attached plan does not depict all Western Power underground activity.

Conditions on the use of information

The following are conditions on which Electricity Networks Corporation (**Western Power**) provides this Information Sheet and accompanying or related plans, diagrams, drawings and data (**Information**) to you (**the User**). These conditions are in addition to any obligations the User may have under law. You must immediately report any damage to Western Power's assets by calling Western Power on 13 13 51.

These conditions do not purport to limit or otherwise exclude the application of any term, warranty or condition that cannot be excluded by law, including but not limited to those contained in Schedule 2 of the *Competition and Consumer Act 2010* (Cth) and corresponding provisions.

By taking the Information Sheet and/or making any use of the Information, the User (and their servants and agents) acknowledge and accept:

1. There are risks associated with works near powerlines which may lead to service disruptions, property damage, serious injury or death;
2. While working in the vicinity of Western Power's assets, the User has a duty of care to Western Power to avoid loss or damage to Western Power's assets;
3. The Information is a guide only and may not correspond with the precise location of Western Power's assets;
4. The Information is valid for 30 days only from the date of issue and must be replaced if required after the 30 days.
5. The User relies upon the Information at their own risk;
6. The User must use safe and non-destructive methods to confirm the location of Western Power's assets (including safe work practices such as the 5 Ps and engaging qualified service locators at the User's cost) ;
7. The User must comply with the obligations referred to in this Information Sheet and in the Information in addition to any obligations imposed by law; and
8. The User must make enquiries with other utilities or property owners that may have cables or services in the area (including any that do not participate in the Before You Dig Australia program).

Western Power and each of its servants or agents:

1. Do not make or give any representation or warranty, express or implied, as to the accuracy, reliability, currency, timeliness or completeness of the Information;
2. Disclaim to the fullest extent the law permits and will not be liable or responsible for, any liability, loss or damage, whether direct or indirect (and whether or not arising out of negligence, breach of duty or statutory duty, or lack of care, of Western Power and its servants or agents or of any of them) arising out of, or in connection with, any use or reliance on the Information; and
3. Are under no obligation to correct, update or revise the Information.

Western Power's assets are lawfully placed in accordance with the *Energy Operators (Powers) Act 1979* (WA) and it is an offence under the Act for an unauthorised person to interfere with Western Power's network assets. Western Power reserves its rights to:

1. recover any loss or damage to its assets caused by any person (including legal costs and interest); and
2. refer any unauthorised person for prosecution under the *Energy Operators (Powers) Act 1979* (WA).

Western Power owns the copyright in this Information Sheet and accompanying Information. The User must not use or reproduce any part of the Information Sheet or the Information for any other purpose without the written consent of Western Power.



Planning ahead to work safe



**360
AWARE**



Your safety is our number one priority. The guidelines set out in this fact sheet have been developed for use alongside existing standards and codes of practice that apply to your industry.

Please refer to these when putting any risk management procedures in place before working around electrical assets. To reduce risk, we recommend you plan for works away from these assets as a priority.

Fulfilling your safety obligations

Working around electricity, whether underground or overhead, is high risk work. If you are overseeing a work area you must ensure no person, plant or materials enters the danger zone of an overhead powerline or other electrical assets. The danger zone is set out in the Work Health and Safety (General) Regulations 2022.

If there is a risk that work you are carrying out might interfere with any electrical services you must:

- establish the location of the service/s that might be affected
- have an accurate diagrammatic representation of the service that might be impacted by works, at the workplace before work commences.

Please refer to the Work Health and Safety (General) Regulations 2022 to find out more about your responsibilities.

Know what you're working near?

When assessing a work area you need to know the location and voltage of any underground power cables and overhead assets nearby. To obtain this information please visit Before You Dig Australia at byda.com.au



Working near electricity safety checklist

- 1** Obtain asset information: Submit a Before You Dig Australia enquiry at byda.com.au to determine the location and voltage of overhead and underground assets.
- 2** Perform an onsite inspection – existence, location, alignment of assets that could be impacted by your works.
- 3** Carry out a **job risk assessment** and safe work method statement to determine if works can be completed outside of the danger zone/s.
- 4** **Consider your options:** If you can't complete works outside of the danger zone/s, contact us to establish what services are available to ensure you can complete your works safely.
- 5** **Follow to 5 P's of excavation: Plan, Prepare, Pothole, Protect and Proceed** for any works near underground assets. Visit Before You Dig Australia at byda.com.au for more on 'safe excavation' practices.

What happens if I need to work within a danger zone?

If you are unable to work outside the danger zone, we can help with a range of services to ensure your safety and those around you. Cost and timings vary for all of the below services.

Distribution assets (0 – 33,000 volts)	Aerial visual covers (tiger tails)	<ul style="list-style-type: none">• Available for installation on low voltage powerlines only, up to 1,000 volts• Does not provide insulation or reduce the danger zone
	Isolation or de-energisation	<ul style="list-style-type: none">• Ensures work can be carried out safely within a reduced danger zone
	Relocation or removal	<ul style="list-style-type: none">• Ensures work and/or event activity can be completed without breaching danger zones
Transmission and communication assets (33,000 – 330,000 volts)	Isolation	<ul style="list-style-type: none">• Ensures work can be completed safely within a reduced danger zone
	Relocation	<ul style="list-style-type: none">• Ensures work and/or event can be completed without breaching danger zones
	Earth potential rise/low frequency induction studies	<ul style="list-style-type: none">• Provides a grid based review of your work• Cost and time implications apply
	Provision of technical data	<ul style="list-style-type: none">• Provides specific asset data that may be useful for your job risk assessment/safe work method statement
	Civil/structural assessments	<ul style="list-style-type: none">• Ensure the works will not cause detriment to electrical assets

Working around overhead assets

To maintain your safety and the safety of others, WHS Regulation R166A states you are not allowed to carry out works within a danger zone. Ignoring this may result in prosecution or being held liable for any damage to the grid. We are obligated to inform Worksafe WA of any non-compliance concerns.

What is a danger zone?

A danger zone is a specific area surrounding live electrical apparatus that ordinary persons, equipment and materials must not enter. The size of the danger zone is determined by the voltage of the electrical apparatus.

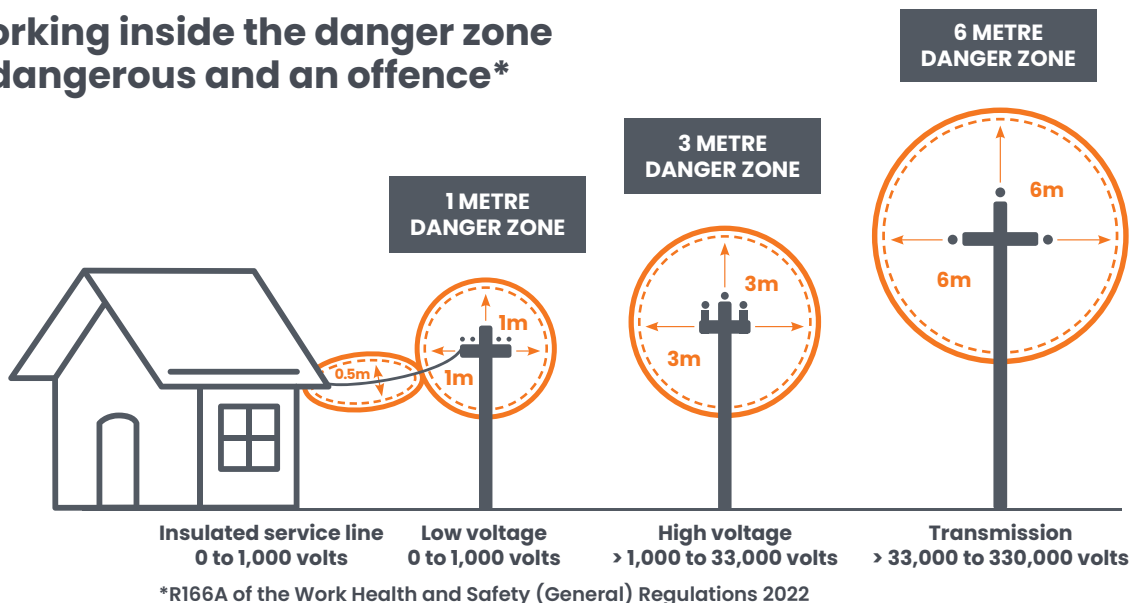
You should always:

- establish the location and voltages of electrical assets in your work area to determine the required clearances by contacting Before You Dig Australia. Use location and voltage information to adopt the appropriate work method statement to ensure work is completed safely.

Tips:

- do not lift loads directly underneath powerlines
- do not lift loads over powerlines
- establish your lay down area, site storage and disposal points away from electrical assets.

Working inside the danger zone is dangerous and an offence*



Working around underground assets

Digging, excavating, drilling and other underground works can be dangerous if the risks are not managed properly. Contact with electrical assets can also leave an entire community without essential services.

Excavation work safety checklist

- 1 Follow the 5 Ps process: Plan, Prepare, Pothole, Protect and Proceed. To find out more about safe work practices relevant to your industry, contact Worksafe WA or your industry association.
- 2 Contact Before You Dig Australia to obtain a cable location plan. Plans supplied include overhead powerline and underground cable voltage information, which is used to determine minimum approach distances. Determine if the proposed excavation is within the minimum approach distance of any underground cables and/or overhead powerlines by using your industry standards, codes of practice and guidelines regarding safe excavation.

- 3 If you are within the minimum approach distance, adopt appropriate controls to ensure work is completed safely.
- 4 Consider the operating height and reach of any excavation equipment to ensure it does not enter the danger zone for overhead powerlines.
- 5 Engage a qualified underground service locating professional to confirm the locations of known and any unknown underground services in the work area.
- 6 Determine the collapsible area of the proposed excavation.
- 7 Pothole by hand or other non-destructive means to remove small amounts of soil to prove the location and depth of underground services. Check that no services have been exposed after each shovel load.
- 8 Only use mechanical excavation after all services have been identified and exposed, subject to restrictions outlined on the table below.
- 9 Proceed with care.
- 10 If you are unable to locate an underground cable, encounter any issues associated with the underground assets such as damaged insulation or cables, or in the event that you discover a cable not shown on your plan, stop work and call us on **13 10 87**.

Please refer to the **WorkSafe Excavation Work Code of Practice 2013** for more information on safe excavation.

Minimum approach distances for underground works

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/ non-destructive digging
Up to and including 1,000V	30cm	Approach with care, avoid contact
1,000V up to and including 33kV	50cm	
Greater than 33kV up to and including 132kV	3m*	

*Western Power must assess any works within 3m of cables 33kV and above.

Staying safe while operating oversized vehicles

Transporting oversized loads can be dangerous, especially if steps haven't been taken to ensure the load remains a safe distance from powerlines. Mainroads WA requires us to authorise all load movements around WA where the load is more than 4.3m high (4.6m for livestock vehicles and towed agricultural machinery).

Oversize vehicle movement safety checklist

- 1 Contact Main Roads WA with your route to obtain a permit for travel.
- 2 Contact us to apply for authorisation of the oversized load movement, if the height of the load exceeds 4.3m. We will then assess the application and issue you with an Oversize Load Movement Authorisation.
- 3 Once authorisation has been issued no changes can be made. If changes are required a new authorisation must be issued, which includes a new permit processing fee.

If we establish that works are required, such as the raising of powerlines, we will provide you with a quote. At times an escort may be required to ensure the vehicle is kept clear of powerlines at all times.

The heights of powerlines can vary depending on the voltage and environment. Operators of loads 4.3m and above must refer to Main Roads WA before applying to Western Power for authorisation.

Visit [westernpower.com.au/360-aware](https://www.westernpower.com.au/360-aware) to find out more and view any applicable fees.

Handling emergencies

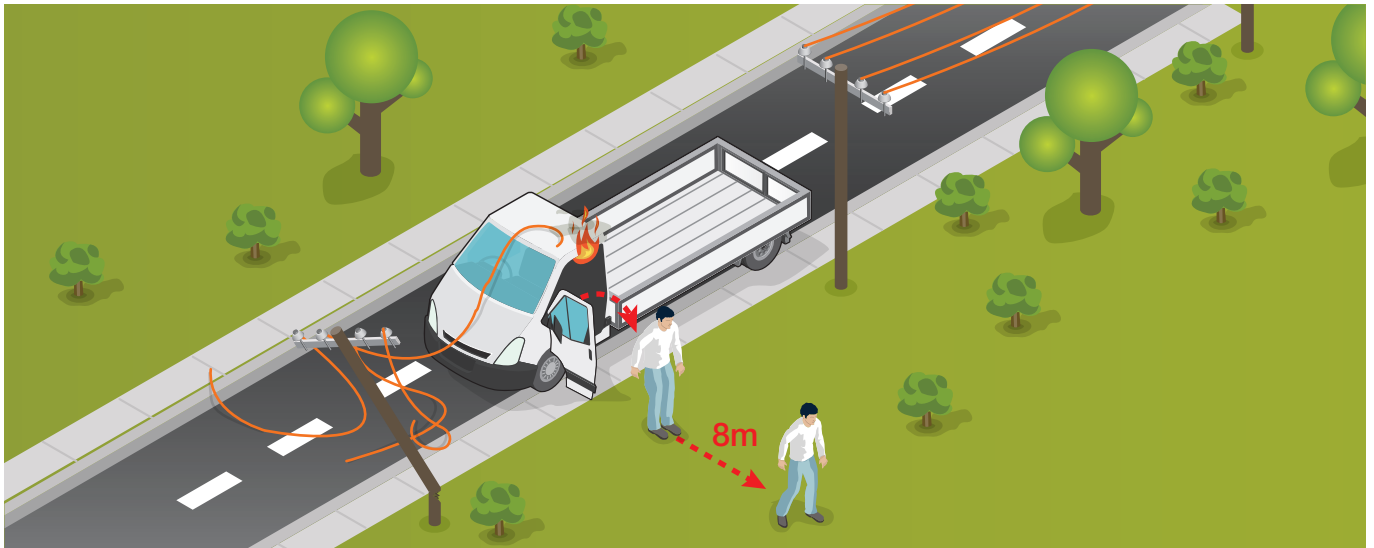
What to do in an emergency

If you are involved in an emergency or see an emergency involving our electrical assets, please follow these steps:

- 1 In a life threatening emergency call **000**.
- 2 For all other electrical emergencies, or after you have called **000**, call our 24/7 emergency number on **13 13 51**.
- 3 Keep bystanders clear – at least 8m from any electrical assets.
- 4 Wait for Western Power to attend to make the area safe.
- 5 All instances of electric shock and or electrocution need to be reported to Worksafe on Freecall **1800 678 198**.

What is considered an emergency?

- fire on or near the grid
- fallen powerlines including low hanging, dangling, clashing together or arcing
- a pole has fallen or is leaning and sparking
- an underground cable, green dome or padmount transformer (green kiosk) is damaged or has exposed wires
- a substation door or gate is open
- you feel tingling or shocks from taps or appliances.



What to do if you are in a vehicle in contact with electricity

- 1 Advise any bystanders not to approach and to remain at least 8m away from the vehicle and any downed electrical assets.
- 2 It is safe to use your mobile phone whilst in the vehicle to call **000** and **13 13 51**.
- 3 Stay in the vehicle unless fire or other life threatening circumstances occur. Evacuating a vehicle in contact with powerlines is extremely dangerous and should be avoided if possible.
- 4 If you are forced to evacuate; jump clear of the vehicle landing with both feet together; do not touch the ground and the vehicle at the same time as this may create a path for electricity to flow through your body, which could electrocute you.
- 5 Slowly shuffle at least 8m away, keeping your feet close together.
- 6 Do not return to the vehicle until we have declared the area safe.
- 7 The vehicle may need to be quarantined for 24 hours including a professional tyre check or replacement due to tyre pyrolysis.
- 8 If you receive an electric shock, seek medical advice even if you are not injured.



363 Wellington Street Perth WA 6000

GPO Box L921 Perth WA 6842

westernpower.com.au/360-aware

Emergencies and power outage

13 13 51 (24 hours, seven days a week)

General enquiries

13 10 87 (7am – 5pm Monday to Friday)

Telephone interpreter services

13 14 50

TTY users (speech or hearing impaired only)

1800 13 13 51

Emergency services

000

Before You Dig Australia

byda.com.au

This information is available in alternative formats if requested.



OVERHEAD LEGEND

Structures

- Power Pole
- Transmission Poles

Transmission Overhead Powerline

- Transmission (33kV - 330kV)

Distribution Overhead Powerline

- High Voltage (1kV - 33kV)
- Low Voltage (< 1kV)

Proposed Construction Assets

- Design Area *
- High Voltage Overhead Powerline
- Low Voltage Overhead Powerline
- Power Pole

Communications Assets

- Overhead Pilot Cable

Feature

- Area of Interest

*** Please refer to coversheet**

**Privately owned cables NOT SHOWN
(including house services)**

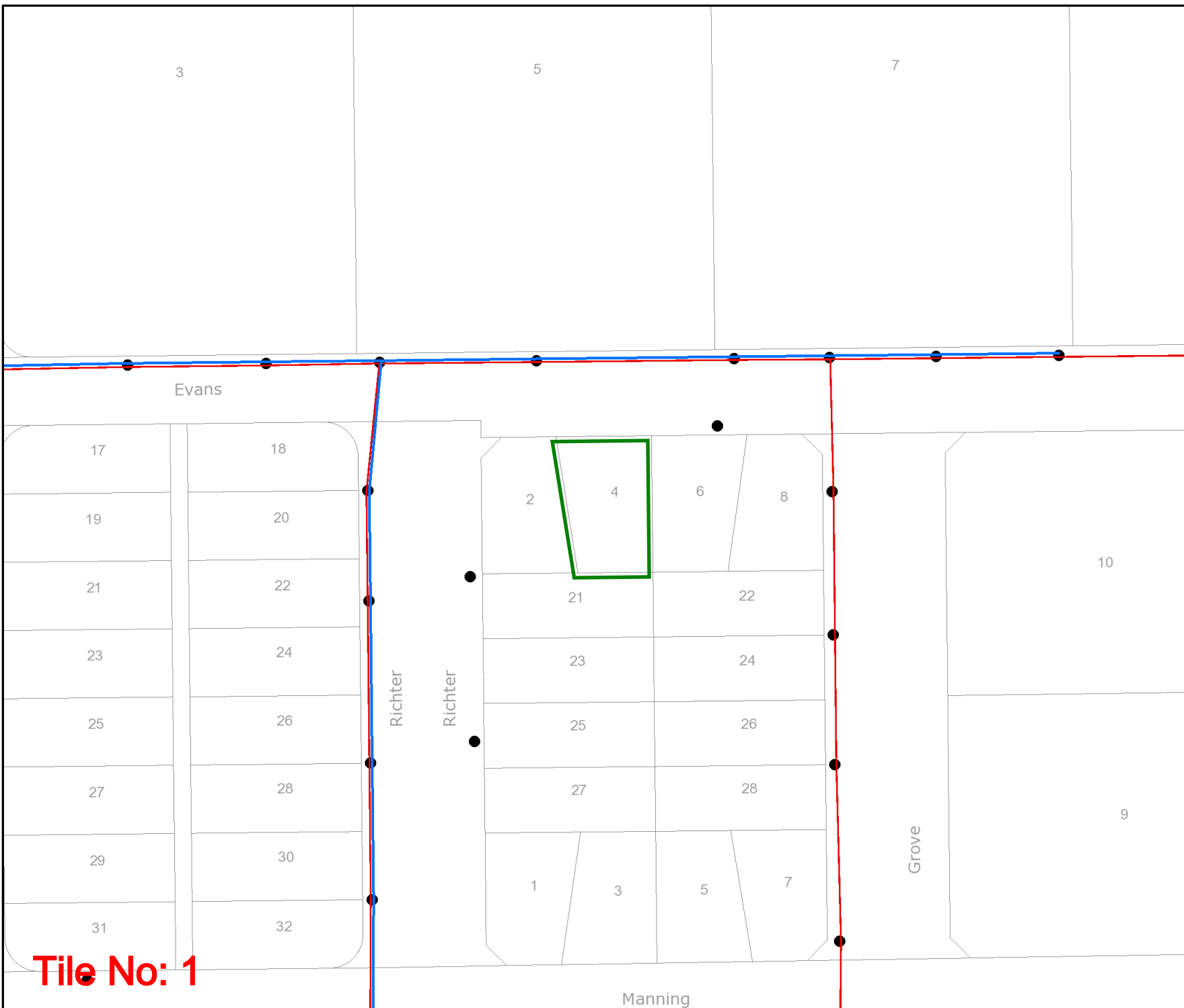
**This map is INDICATIVE ONLY.
Check that you have enough
clearance from the DANGER ZONES
near overhead powerlines.**

**Telephone Support: 1300 769 345
Mon to Fri - 08:00 to 16:30**

**Information valid for 30 days
from date of issue**

A4 Scale : 1:1500

**WARNING! Look out for
overhead power lines**



WESTERN



AUSTRALIA

TITLE NUMBER

Volume

Folio

1699

92

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 306 ON DEPOSITED PLAN 209377

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

SHIRE OF MORAWA OF PO BOX 14 MORAWA WA 6623

(T Q333372) REGISTERED 28/2/2025

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1699-92 (306/DP209377)
PREVIOUS TITLE: 1431-819
PROPERTY STREET ADDRESS: 4 GRANVILLE ST, MORAWA.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF MORAWA





ORIGINAL – NOT TO BE REMOVED FROM OFFICE OF

CT 1699 0092 F



Transfer D61990

WESTERN



AUSTRALIA

Volume 1431 Folio 819

1699 092

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

Page 1 (of 2 pages) 1699 092 FOL.

VOL.

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 8th July, 1985

A. J. Smyth


REGISTRAR OF TITLES



ESTATE AND LAND REFERRED TO

Estate in fee simple in Morawa Lot 306, delineated and coloured green on the map in the Third Schedule hereto, limited however to the natural surface and therefrom to a depth of 12.19 metres.

FIRST SCHEDULE (continued overleaf)

~~Jeffrey Wayne North, of Morawa, Farmhand.~~ 

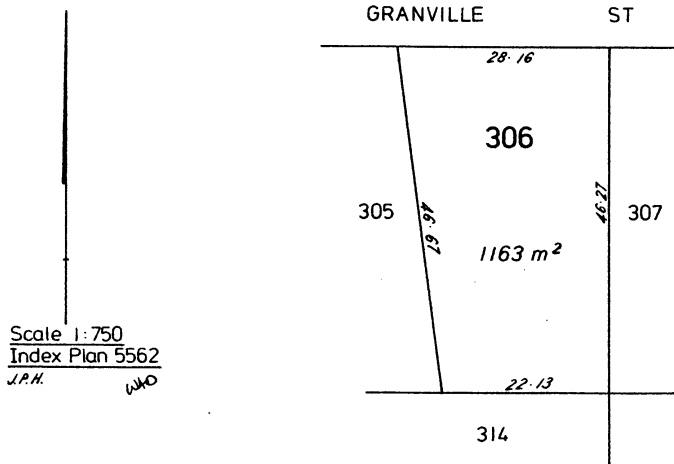
SECOND SCHEDULE (continued overleaf)

NIL

A. J. Smyth

REGISTRAR OF TITLES

THIRD SCHEDULE



NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72009/12/77-45M-S/2880

Superseded - Copy for Sketch Only

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

FIRST SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

[illegible]**SECOND SCHEDULE (continued)**

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

[illegible]

CERTIFICATE OF TITLE VOL. 1699 092

From: [BYDA - Telstra \(WA\)](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923117 - Referral 265571853 - RHFS
Date: Thursday, 11 December 2025 9:32:27 AM
Attachments: [0F257849.gif](#)
[0F030741.gif](#)
[0F621330.gif](#)
[0F728074.gif](#)
[0F550874.gif](#)
[0F959219.gif](#)
[0F983652.gif](#)
[0F575840.gif](#)
[0F021241.gif](#)
[Telstra Duty of Care v33.0a.pdf](#)
[Telstra Map Legend v4 0c.pdf](#)
[AccreditedPlantLocators 2025-09-16a.pdf](#)
[265571853.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Telstra (WA) in response to your Before You Dig enquiry.




Original subject	DBYD JOB: 51923117 SEQ: 265571853 - 4 Granville St, Morawa WA 6623
Original sender	TAMS@dominoapp.in.telstra.com.au
Received	11 Dec 2025 9:31:27am AWST

Attention: Marty Symmons

Site Location: 4 Granville St, Morawa, WA 6623

Your Job Reference: RHFS

Please do not reply to this email, this is an automated message -
Thank you for requesting Telstra information via Before You Dig Australia (BYDA).
This response contains Telstra Information relating to your recent request.

 Accredited Plant Locator	General Contact Information including applications required to view Cable Plans - DWF & PDF
 Telstra Duty of Care V32	Your responsibility and Legal requirements working near Telstra's Assets
 Telstra Map Legend 4.0	Common Symbols on Cable Plans and Safe Clearance distances when working near Telstra Assets







Please note:

When working in the vicinity of telecommunications plant you have a 'Duty of Care' that must be observed.

Ensure you read all documents (attached) - they contain important information.

In particular please read and familiarise yourself with the Before you Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>, as these documents set out the essential steps that must be undertaken prior to commencing construction activities.

 <p>Best practice guides and the five P's of safe excavation</p>	<p>These are the essential steps to be undertaken prior to commencing construction activities</p>	<p>Essential Steps : Link</p> <p>5 P's: Link</p>
	<p>We highly recommend using certified locators where possible.</p>	<p>CERTLOC : Link</p>
 <p>1800 653 935</p> <p>Telstra Plan Services</p>	<p>Whenever in doubt please contact this number for Telstra BYDA map related enquiries email Telstra.Plans@team.telstra.com</p>	<p>Note: that Telstra plans are only valid for 60 days from the date of issue</p>
 <p>How to Report Damage to Telstra Equipment</p>	<p>If you think you have damaged Telstra Assets, please Report it ASAP.</p>	<p>Call: 13 22 03</p> <p>Report Online: Link</p>
	<p>It is a criminal offence under the 'Criminal code act 1995' to tamper or interfere with Telecommunications infrastructure. Telstra will take action to recover compensation for the damage caused to property and assets, and for interference with the operation of Telstra's networks and customer service.</p>	
	<p>Telstra plans contain confidential information and are provided on the basis that they are used solely for identifying location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause loss or damage. You must comply with any other terms of access to the data that have been provided by you by Telstra (including conditions of use or access).</p>	

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing them. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra assets prior to commencing work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works.

See the **Before You Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation**

<https://www.byda.com.au/before-you-dig/best-practice-guides/>.

Please note that:

- it is a criminal offence under the *Criminal Code Act* 1995 (Cth) to tamper or interfere with telecommunications infrastructure.
- Telstra will take action to recover compensation for damage caused to property and assets, and for interference with the operation of Telstra's networks and customers' services.

Telstra's plans contain Telstra's confidential information and are provided on the basis that they are used solely for identifying the location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause Telstra loss or damage and you must comply with any other terms of access to the data that have been provided to you by Telstra (including Conditions of Use or Access).

(See attached file: Telstra Duty of Care v33.0a.pdf)

(See attached file: Telstra Map Legend v4_0c.pdf)

(See attached file: AccreditedPlantLocators 2025-09-16a.pdf)

(See attached file: 265571853.pdf)

Before You Dig Australia

Think before you dig

This document has been sent to you because you requested plans of the Telstra network through Before You Dig Australia (BYDA).

If you are working or excavating near telecommunications cables, or there is a chance that cables are located near your site, you are responsible to avoid causing damage to the Telstra network.

Please read this document carefully. Taking your time now and following the **BYDA's Best Practices and 5 Ps of Safe Excavation** <https://www.byda.com.au/before-you-dig/best-practice-guides/>

can help you avoid damaging our network, interrupting services, and potentially incurring civil and criminal penalties.

Our network is complex and working near it requires expert knowledge. Do not attempt these activities if you are not qualified to do so.



Disclaimer and legal details

*Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013.

It is a criminal offence under the Criminal Code Act 1995 (Cth) to tamper or interfere with telecommunications infrastructure.

Telstra will also take action to recover costs and damages from persons who damage assets or interfere with the operation of **Telstra's** networks.

By receiving this information including the indicative plans that are provided as part of this information package you confirm that you understand and accept the risks of working near **Telstra's** network and the importance of taking all the necessary steps to confirm the presence, alignments and various depths of **Telstra's** network. This in addition to, and not in replacement of, any duties and obligations you have under applicable law.

When working in the vicinity of a telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

The Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas, then you must not attempt these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers. Construction activities and/or any activities that potentially may impact on Telstra's assets must not commence without first undertaking these steps. Construction activities can include anything that involves breaking ground, potentially affecting Telstra assets.

If you are designing a project, it is recommended that you also undertake these steps to validate underground assets prior to committing to your design.

This Notice has been provided as a guide only and may not provide you with all the information that is required for you to determine what assets are on or near your site of interest. You will also need to collate and understand all information received from other Utilities and understand that some Utilities are not a part of the BYDA program and make your own enquiries as appropriate. It is the responsibility of the entities arranging for the works to be performed, supervising the works, and undertaking the works to protect Telstra network during excavation / construction works.

Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.

Telstra plans or other details are provided only for the use of the applicant, its servants, agents, or CERTLOC Certified Locating Organisation (CLO). The applicant must not give the plans or details to any parties other than these and must not generate profit from commercialising the plans or details. If the Applicant is aware of another party or parties about to perform or performing works at the location, it should ensure that the other party or parties have lodged a BYDA enquiry and obtained plans for that location. If you are undertaking excavations works you must follow the 5Ps of Safe Excavation. The 5 Ps of Safe Excavation are set out in the video in the below link.

<https://www.byda.com.au/education/resources/>

Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided always remains on-site throughout the inspection, location, and construction phase of any works.

Telstra plans are valid for 60 days after issue and must be replaced if required after the 60 days.

Data Extraction Fees

In some instances, a data extraction fee may be applicable for the supply of Telstra information. Typically, a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Location Intelligence Team.

Telstra does not accept any liability or responsibility for the performance of or advice given by a CERTLOC Certified Locating Organisation (CLO). Certification is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

Neither the Certified Locating Organisation nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Certified Locating Organisation or its employees.

Once all work is completed, the excavation should be reinstated with the same type of excavated material unless specified by Telstra.

The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

When using excavators and other machinery, also check the location of overhead power lines.

Workers and equipment must maintain safety exclusion zones around power lines

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Privacy Note

Your information has been provided to Telstra by BYDA to enable Telstra to respond to your BYDA request. Telstra keeps your information in accordance with its privacy statement. You can obtain a copy at www.telstra.com.au/privacy or by calling us at 1800 039 059 (business hours only).

General Information



Before you Dig Australia – BEST PRACTISE GUIDES
<https://www.byda.com.au/before-you-dig/best-practice-guides/>

OPENING ELECTRONIC MAP ATTACHMENTS –

Telstra Cable Plans are generated automatically in either PDF or DWF file types.
Dependent on the site address and the size of area selected.
You may need to download and install free viewing software from the internet e.g.



DWF Map Files (all sizes over A3)
Autodesk Viewer (Internet Browser) <https://viewer.autodesk.com/> or
Autodesk Design Review <http://usa.autodesk.com/design-review/> for DWF files.
(Windows PC)



PDF Map Files (max size A3)
Adobe Acrobat Reader <http://get.adobe.com/reader/>



Telstra New Connections / Disconnections
13 22 00



Telstra Protection & Relocation: 1800 810 443 (AEST business hours only).
[Email](#)
Telstra Protection & Relocation Fact Sheet: [Link](#)
Telstra Protection & Relocation Home Page [Link](#)



Telstra Aerial Assets Group (overhead network)
1800 047 909

Protect our Network:

by maintaining the following distances from our assets:

- 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- 500mm Vibrating Plate or Wacker Packer Compactor
- 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant.
- 1.0m Jackhammers/Pneumatic Breakers
- 2.0m Boring Equipment (in-line, horizontal and vertical)

For more info contact a [CERTLOC Certified Locating Organisation \(CLO\)](#) or
Telstra Location Intelligence Team 1800 653 935

LEGEND



	Leadin terminates at a Customer Address		Cable Joining Pit Number / Letter indicating Pit type/size
	Exchange Major Cable Present		Elevated Joint (above ground joint on buried cable)
	Pillar / Cabinet Above ground Free Standing		Telstra Plant in shared Utility trench
	Above ground Complex Equipment Please note: Powered by 240v electricity		Aerial cable / or cable on wall
OC	Other Carrier Telecommunication Cable/ Asset. Not Telstra Owned		Aerial cable (attached to joint use Pole e.g., Power Pole)
DIST	Distribution cables in Main Cable Ducts		Marker Post Installed
MC	Main Cable ducts on a Distribution Plan		Buried Transponder
	Blocked or Damaged Duct		Marker Post & Transponder
	Footway Access Chamber (can vary between 1-lid to 12-lid)		Optical Fibre Cable Direct Buried
	NBN Pillar		Direct Buried Cable
	Third Party Owned Network Non-Telstra		nbn owned network

Single to Multiple Round Conduit Configurations 1,2,4,9 respectively
(attached text denotes conduit type and size)

Multiple Square Conduit configurations 2,4,6 respectively
(attached text denotes conduit type and size)

Some examples of conduit type and size:

A - Asbestos cement, P - PVC / Plastic, C - Concrete, GI - Galvanised Iron, E - Earthenware

Conduit sizes nominally range from 20mm to 100mm

P50 50mm PVC conduit

P100 100mm PVC conduit

A100 100mm asbestos cement conduit

Some Examples of how to read Telstra Plans

One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two pits. approximately 20.0m apart, with a direct buried 30-pair cable along the same route.

Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100) along the same route.

5 ← Roadside / Front Property Boundary

← P20

← 2 pair Leadin to property from 5 pit in street

← O59

← 1 DEAD

← 1 pair Dead (i.e.: spare not connected)

← Side / Rear Property Boundary

107 ← Property Number

The 5 Ps of Safe Excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>

<h3>Plan</h3> <p>Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.</p>	<h3>Prepare</h3> <p>Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a Certified Locator.</p>	<h3>Pothole</h3> <p>Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.</p>	<h3>Protect</h3> <p>Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.</p>	<h3>Proceed</h3> <p>Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.</p>
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From: [BYDA - Water Corporation](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923117 - Referral 265571852 - RHFS
Date: Thursday, 11 December 2025 9:21:06 AM
Attachments: [265571852 - Water Corp Cover letter.pdf](#)
[265571852 - Water Corp - Critical Water Assets Plan.pdf](#)
[Information Brochure - Legend.pdf](#)
[Public Safety - Excavation.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Water Corporation in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923117, Sequence No 265571852
Original sender	watercorp@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:20:30am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923117

Sequence no.: 265571852

Requested Location Address:

4 Granville St

Morawa WA 6623

Attached are the files related to your recent BYDA request. Please review all the attached documentation carefully.

For any enquiries, contact Asset Protection at **POS_enquiries@watercorporation.com.au**.

Important Note: Plans are now provided as separate attachments - please ensure you review all attached documents.

If you have received this email in error, please let us know by contacting **POS_enquiries@watercorporation.com.au**. and quoting the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp



WATER CORPORATION UNDERGROUND ASSET DETAILS

Requestor details:

Marty Symmons
Not supplied
26 Winfield Street
Morawa WA 6623
Phone: +61427711204

Sequence No: 265571852
BYDA Job No: 51923117
Enquiry Date: 11 Dec 2025
Issue Date: 11 Dec 2025

Requested location details:

Address: 4 Granville St, Morawa WA 6623

Note: The response for this enquiry has been interpreted from details in the picture location only.

Water Corporation asset impact:

WARNING - CRITICAL PIPELINES FOUND

The area you requested contains a critical pipeline. You may need to contact us with regard to this request prior to digging – see attached documents.

Important:

1. Plans show approximate location only – verify location by potholing before using powered machinery.
2. Please read all information and attachments.
3. All documents must be kept together and retained on site by the work team.
4. This information is valid for 30 days from date of issue.

Excavation

Excavation can be dangerous, especially if you're digging without knowing what's below. If you're excavating, it's your responsibility to locate Water Corporation assets and prevent contact to keep you, your team and the community safe.

This information is important if you're a planner, construction worker, supervisor, or in similar roles.

Duty of care

The safety of your workers and the public remains your responsibility, as per Work Health and Safety Regulations 2022 - Reg 34, 35 & 36.

Make sure you positively locate all assets before excavating and have a safe system of work. All work must be in accordance with the relevant acts, regulations, standards and codes of practice.

Risk of working near our assets

Water Corporation has a vast network with different risks depending on the asset and location:

- **Energy release:** sudden release of high pressure or high flowing water, which can result in collapse of excavations, buildings and impact to people. The sudden release of large volumes of water under pressure is dangerous and can lead to drowning, significant structural damage, community or supply disruption and traffic hazards.
- **Electricity:** electric shock exposure due to asset age, electrical assets located close to our pipelines, electric faults, equipment failure and lightning.
- **Falls:** pits and access chambers, which create fall and drowning risks.
- **Hazardous materials:** biohazards from the release of wastewater with infectious agents and toxic or flammable gases. Pipelines may contain or be coated with hazardous materials.

Secondary hazards may result from damage or disruption to Water Corporation infrastructure.

It's important to assess the risks associated with your work.

Ensure you have your Before You Dig Australia (BYDA) plans.

Lodge a free enquiry online
www.byda.com.au

Before you dig – remember the 5 Ps:

1. Plan	2. Prepare	3. Pothole	4. Protect	5. Proceed
<ul style="list-style-type: none">• Plan ahead by lodging your BYDA enquiry, and ensure you have the correct information to carry out work safely.• Plan ahead by applying for an APRA on our website. Search Working Near Our Assets.	<ul style="list-style-type: none">• Prepare by reviewing the utility plans and contact the asset owners if you need help.• Perform a site inspection- identify any surface indicators of underground asset clues such as pit lids, marker posts and meters.• Engage a skilled locator to locate assets electronically before potholing	<ul style="list-style-type: none">• Pothole, using the asset owner's stated method as specified on the plans and information pack.• Pothole methods include hand digging and hydro vacuum extraction• Backfill potholes on completion	<ul style="list-style-type: none">• Protect any exposed utility assets, ensure to contact the utility providers and seek direction	<ul style="list-style-type: none">• Proceed with care -once all checks have been completed and all relevant permits and authorisations are granted.

Never rely on BYDA plans on as the sole means of locating assets; follow all five steps.

Never use an excavator to identify the underground asset.

Our danger zones

Water Corporation assets have a prescribed proximity. These vary due to asset size and type. It's important to know the danger zones to keep yourself safe. Locate the assets before performing work. Excavations can undermine assets, so always follow the [Excavation: Code of practice](#).

Approval is required if your proposed work is in, on, over, under or within the prescribed proximities to our assets (as per [Water Services Act 2012](#)– Sections 88 and 90).

Type of work	Asset type	Asset size	Prescribed proximity (distance from the asset)
<div>Ground disturbing works</div> <div><i>Including movement of heavy vehicles, ground compaction, dewatering, earthworks, open and trenchless excavations</i></div>	Sewer pipelines	All	2m
	Main drains		
	Water supply pipelines	< 300mm diameter	4m
	Water supply pipelines	≥ 300mm diameter	6m
	Sewer pressure pipelines	All	
	Drainage pressure mains		

Prescribed proximity information taken from the Water Corporation [Technical Guidelines](#).

Changes to site conditions

If site conditions change, stop work and reassess the risks.

Contact for support

Asset Protection: POS_enquiries@watercorporation.com.au

Technical and Building enquiries: visit our [website](#) or call 13 13 95

To get our approval visit
[Working near our assets](#)

In case of emergency

Life-threatening emergency; contact Emergency Services on 000.

Water or wastewater emergencies; contact Faults and Emergencies (24/7) on 13 13 75.

Disclaimer

Any plans or other information provided by Water Corporation must be used as a guide only. Plans (including the location of pipes and other assets) are approximate only and it is your responsibility to locate the exact location of Water Corporation assets before commencing work. Water Corporation does not warrant or make any representation as to the accuracy, completeness, reliability, currency, quality or fitness for purpose of any plans or other information (including, but not limited to, the accuracy of the scale of, or the location of, anything shown on any plan or diagram).

Plan Legend (summary)



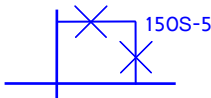
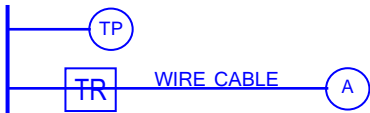





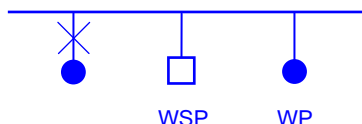
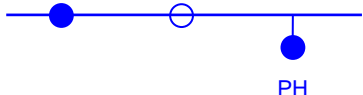
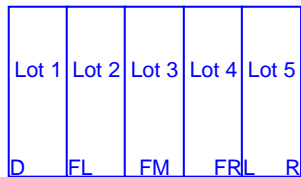

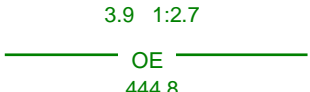
INFORMATION BROCHURE

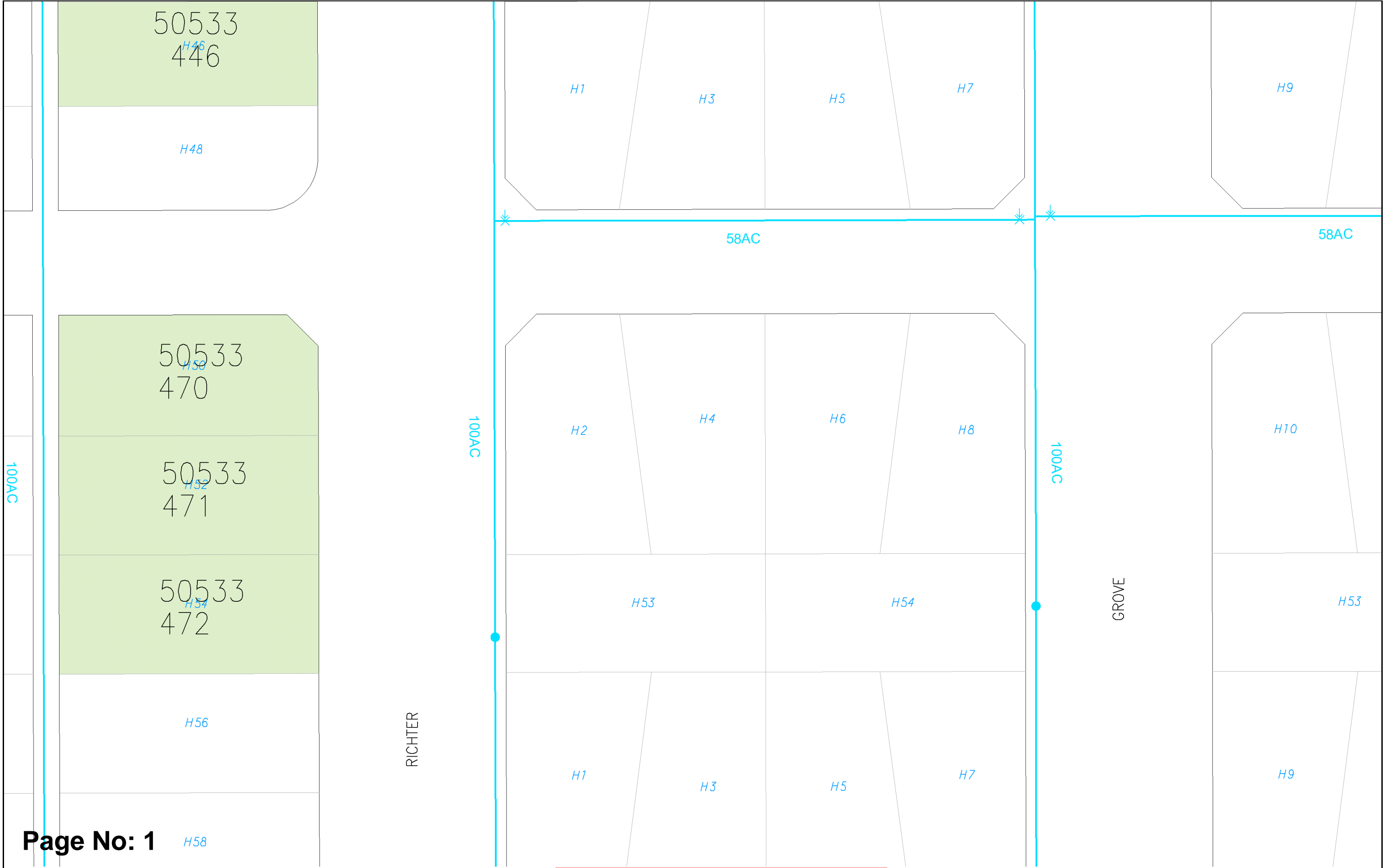


This legend is provided to [Dial Before You Dig](#) users to assist with interpreting Water Corporation plans. A more detailed colour version can be downloaded from www.watercorporation.com.au. (Your business > Working near pipelines > Downloads)

WARNING - Plans may not show all pipes or associated equipment at a site, or their accurate location. **Pothole by hand** to verify asset location before using powered machinery.

	<p>WATER, SEWERAGE AND DRAINAGE PIPELINES</p> <p>CRITICAL PIPELINE (thick line) EXTRA CAUTION REQUIRED A risk assessment may be required if working near this pipe. Refer to your Dial Before You Dig information or call 131375.</p> <p>Pipes are not always labelled on plans as shown here – assume all pipes are significant and pothole to prove location and depth.</p> <p>P.M. pressure main M.S. main sewer R rising main (i.e. drainage pressure main)</p> <p>Common material abbreviations:</p> <p>AC asbestos cement e.g. 100AC NOTE: AC is brittle and is easily damaged. CI cast iron GRP glass reinforced plastic P PVC - class follows pipe material (e.g.100P-12) RC reinforced concrete S steel VC vitrified clay</p>
	<p>NON-STANDARD ALIGNMENT</p> <p>Pipes are not always located on standard alignments due to local conditions. (i.e. Other than 2.1 m for reticulation mains and 4.5 m for distribution mains.)</p>
	<p>OTHER PIPE SYMBOLS</p> <p>Other numbers or codes shown on pipes are not physical attributes. These are Water Corporation use only.</p>
	<p>CONCRETE ENCASEMENT, SLEEVING AND TUNNELS</p> <p>May be in different forms: steel, poured concrete, box sections, slabs.</p>
	<p>CHANGE INDICATOR ARROW</p> <p>Indicates a change in pipe type or size. e.g. 150mm diameter PVC to 150mm diameter asbestos cement (AC).</p>
	<p>PIPE OVERPASS</p> <p>The overpass symbol indicates the shallower of the two pipes.</p>
	<p>VALVES</p> <p>Many different valve types are in use. Valve may be in a pit or have a visible valve cover. There may be no surface indication.</p> <p>Valves may be shallower than the main or offset from it. e.g. A scour valve (SC) may have a pipe coming away from main pipeline on the opposite side to that indicated on the plan.</p>

 	FIRE SERVICES 100 mm polythene domestic (DOMS) service FS Fire service FHS Fire hydrant service Hydrant may be visible external to the building. Even if not visible a substantial fire service may still be present.	
	PIPE BYPASS Bypass will not be on the same alignment as the main pipeline.	
	CATHODIC PROTECTION (CP) Buried CP equipment may be located some distance from the pipeline being protected interconnected by buried cable. All CP fittings may not be visible. A buried anode – various sizes and configurations TP test point - may be visible on a post or in-ground TR transformer rectifier	
	ACCESS TEE OR MANHOLE OR SERVICE ACCESS PIT NOTE: Opening any manhole or pit is dangerous and is prohibited. Below ground. May not be any visible signs at ground level or may be located in a pit.	
	WASTEWATER ACCESS CHAMBERS (MANHOLES) -- Manhole (shown not labelled) -- Tee or maintenance shaft (shown not labelled) MS maintenance shaft (labelled) WARNING: Opening any manhole or pit is dangerous and is prohibited.	
	WASTEWATER MANHOLE INFORMATION BOXES Square non-trafficable Do not drive vehicles over or place loads. Round trafficable In general if not located in the road treat as if non-trafficable.	
	HAZARDOUS MANHOLE Indicates a potential health hazard from risk of exposure to toxic waste. WARNING: Opening any manhole is dangerous and is prohibited.	
	FLOWMETER Various types of flow meters located in a pit. May be labelled with identifier. (e.g. 50 MFM, 50MM)	
	STANDPIPE, WATER SAMPLING POINT (WSP), WATER SUPPLY POINT (WP) May be located adjacent to mains. Usually there will be some visible indication.	
	Hydrant May not be visible. Hydrant Tee May not be visible. Pillar hydrant Visible	
	PRE-LAID SERVICES D Deferred FL Fully Prelaid Left FM Fully Prelaid Front Middle FR Fully Prelaid Right L Left R Right Code indicates on which side of a lot the water service is located: May be no visible indication at site.	
	SEWER OR DRAINAGE PUMP STATION Several pipes and a pressurised main will be in the vicinity.	
	OPEN CHANNEL OA Landscaped OE Normal Open Earth OF Open channel with flood levee OH Half Pipe OL Lined Channel OS Swale-Shallow Depression OW Natural Water Course Drainage structures, even if dry, must be kept clear of any obstruction such as sand stockpiles.	



From: [BYDA - Western Power](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923117 - Referral 265571851 - RHFS
Date: Thursday, 11 December 2025 9:22:30 AM
Attachments: [265571851 - Western Power Response letter.pdf](#)
[265571851 - Western Power - Overhead Plan.pdf](#)
[Western Power - Safety Brochure.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Western Power in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923117, Sequence No 265571851 - 4 Granville St, Morawa WA 6623
Original sender	westernpower@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:21:36am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923117

Sequence no.: 265571851

Dig site location:

4 Granville St

Morawa WA 6623

Attached are the files containing Western Power information relating to your recent BYDA request. Please read and understand all the attached documentation provided and call [13 10 87](#) if you have any queries.

Note: Plans are now supplied as separate attachments - please ensure that you review all attached documents

If you have received this email in error, please advise us by calling [13 10 87](#) and quote the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp





Date: 11 Dec 2025

To: Marty Symmons
Company: Not Supplied
Phone Details: +61427711204
Email Address: 7fz45zo1mmm4v.ctuwa6dybgbaao@smarterwx-mail.byda.com.au

Sequence Number: 265571851
Job Number: 51923117
Dig Site Location: Morawa, WA 6623

Before You Dig Australia information sheet

This information related to both underground and overhead network assets and is valid for **30 days from the date of issue. You must refer to current plans at all times.**

- **The *Energy Operators (Powers) Act 1979* makes it an offence to damage Western Power's network.**
- **The *Work Health and Safety (General) Regulations* establish restrictions for working safely around the Western Power network.**
- **Western Power's *Network Policy and Standards* along with applicable easement conditions establish restrictions for development around the Western Power network.**

It is the duty of care of persons planning to work or develop around Western Power's network to comply with the requirements of these statutory obligations and any other legislation, standard or guidance relevant.

Western Power's network assets are classified below:

Network Asset	Classification
Transmission	66kV or greater
Distribution	33kV or less (including low voltage)
Communication and other cables	communications, pilot cables, fibre optics, earths

General information

- Any information provided is a guide only and is subject to conditions of use
- Not all underground assets may be shown. If you discover a cable NOT shown on your map or you wish to clarify the construction status of assets in Design Areas, contact Western Power on **13 10 87**.
- You must make use of safe non-destructive methods (including, but not limited to, the 5 Ps) before carrying out any excavation work. It is mandatory for the customer/excavator/contractor to physically locate all services before excavating.



363 Wellington Street Perth 6000
GPO Box L921 Perth WA 6842
westernpower.com.au



↑ 13 10 87
f (08) 9225 2660
TTY 1800 13 13 51
TIS 13 14 50

Electricity Networks Corporation
ABN: 18 540 492 861

- Never assume the depth and alignment of cables. It may vary over time, depending on ground condition, age of the cable, road resurfacing, landscaping, etc.
- If you are unsure, you should stop work and refer to a qualified service locator.
- You can refer to the Utility Providers Code of Practice for Western Australia for further information regarding street works in public road reserves

Danger zones and minimum approach distances

A person conducting a business or undertaking or a person with management of control of a workplace is required under the *Work Health and Safety (General) Regulations 2022* to ensure that a worker (or plant or material of the worker) does not come within an unsafe distance of an underground powerline or within the danger zone for an overhead powerline. A danger zone represents an area of high risk when working and developing around the Western Power overhead network. It is a requirement to work and develop outside of these areas.

Minimum approach distances for underground cables

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/non-destructive digging
Up to and including 1,000V (low voltage)	30cm	Approach with care, avoid contact
1,000V up to and including 33kV (high voltage)	50cm	
Greater than 33kV up to and including 330kV (transmission)	3m (Western Power must assess any works within 3m of cables 33kV and above)	

Danger zones for overhead powerlines:

Nominal voltage	Minimum approach distance
Low voltage (0 – 1000 volts)	1m
High voltage (>1000 to 33,000 volts)	3m
Transmission (>33,000 to 330,000 volts)	6m

If you propose to work/develop within or close to these areas, contact our Customer Service Centre on 13 10 87. Please allow adequate time before you commence work to discuss your options.

Easements

Works within a Western Power easement area are required to comply with applicable restrictions under Western Power's standard easement conditions. These conditions are established under the relevant easement document on the Certificate of Title which can be obtained from Landgate at your own cost (additional fees may apply).

If there is no easement, you must still follow Western Power's Network Policy and Standards (available at <https://www.westernpower.com.au/industry/manuals-guides-standards/> or by calling **13 10 87**).

Map legend information

Label	Meaning
Proposed Construction Assets	Overhead/underground assets may possibly be found in the Design Area shaded on the plan.
Design Area	Fieldworks are possibly in progress or just completed and the plans supplied may differ from the current state in the ground or overhead.
UG Crossing	There could be multiple underground ducts at that location.

Not depicted on Western Power Before You Dig Australia plans

Label	Meaning
Cables within a private property	For example, from pillar (green dome) to your electric meter. A cable-locating company will have to be contacted for on-site locations in the private property.

State Underground Power Program (SUPP) in progress or completed

Retrospective large-scale undergrounding of power and/or communications assets has been identified in the vicinity of your enquiry.

Please refer to the attached plan(s), for instructions or additional information.

Large Scale Undergrounding in Progress

Not all underground assets shown, there may be uncommissioned underground assets installed. Attached plan does not depict all Western Power underground activity.

Conditions on the use of information

The following are conditions on which Electricity Networks Corporation (**Western Power**) provides this Information Sheet and accompanying or related plans, diagrams, drawings and data (**Information**) to you (**the User**). These conditions are in addition to any obligations the User may have under law. You must immediately report any damage to Western Power's assets by calling Western Power on 13 13 51.

These conditions do not purport to limit or otherwise exclude the application of any term, warranty or condition that cannot be excluded by law, including but not limited to those contained in Schedule 2 of the *Competition and Consumer Act 2010* (Cth) and corresponding provisions.

By taking the Information Sheet and/or making any use of the Information, the User (and their servants and agents) acknowledge and accept:

1. There are risks associated with works near powerlines which may lead to service disruptions, property damage, serious injury or death;
2. While working in the vicinity of Western Power's assets, the User has a duty of care to Western Power to avoid loss or damage to Western Power's assets;
3. The Information is a guide only and may not correspond with the precise location of Western Power's assets;
4. The Information is valid for 30 days only from the date of issue and must be replaced if required after the 30 days.
5. The User relies upon the Information at their own risk;
6. The User must use safe and non-destructive methods to confirm the location of Western Power's assets (including safe work practices such as the 5 Ps and engaging qualified service locators at the User's cost) ;
7. The User must comply with the obligations referred to in this Information Sheet and in the Information in addition to any obligations imposed by law; and
8. The User must make enquiries with other utilities or property owners that may have cables or services in the area (including any that do not participate in the Before You Dig Australia program).

Western Power and each of its servants or agents:

1. Do not make or give any representation or warranty, express or implied, as to the accuracy, reliability, currency, timeliness or completeness of the Information;
2. Disclaim to the fullest extent the law permits and will not be liable or responsible for, any liability, loss or damage, whether direct or indirect (and whether or not arising out of negligence, breach of duty or statutory duty, or lack of care, of Western Power and its servants or agents or of any of them) arising out of, or in connection with, any use or reliance on the Information; and
3. Are under no obligation to correct, update or revise the Information.

Western Power's assets are lawfully placed in accordance with the *Energy Operators (Powers) Act 1979* (WA) and it is an offence under the Act for an unauthorised person to interfere with Western Power's network assets. Western Power reserves its rights to:

1. recover any loss or damage to its assets caused by any person (including legal costs and interest); and
2. refer any unauthorised person for prosecution under the *Energy Operators (Powers) Act 1979* (WA).

Western Power owns the copyright in this Information Sheet and accompanying Information. The User must not use or reproduce any part of the Information Sheet or the Information for any other purpose without the written consent of Western Power.



Planning ahead to work safe



**360
AWARE**



Your safety is our number one priority. The guidelines set out in this fact sheet have been developed for use alongside existing standards and codes of practice that apply to your industry.

Please refer to these when putting any risk management procedures in place before working around electrical assets. To reduce risk, we recommend you plan for works away from these assets as a priority.

Fulfilling your safety obligations

Working around electricity, whether underground or overhead, is high risk work. If you are overseeing a work area you must ensure no person, plant or materials enters the danger zone of an overhead powerline or other electrical assets. The danger zone is set out in the Work Health and Safety (General) Regulations 2022.

If there is a risk that work you are carrying out might interfere with any electrical services you must:

- establish the location of the service/s that might be affected
- have an accurate diagrammatic representation of the service that might be impacted by works, at the workplace before work commences.

Please refer to the Work Health and Safety (General) Regulations 2022 to find out more about your responsibilities.

Know what you're working near?

When assessing a work area you need to know the location and voltage of any underground power cables and overhead assets nearby. To obtain this information please visit Before You Dig Australia at byda.com.au



Working near electricity safety checklist

- 1** Obtain asset information: Submit a Before You Dig Australia enquiry at byda.com.au to determine the location and voltage of overhead and underground assets.
- 2** Perform an onsite inspection – existence, location, alignment of assets that could be impacted by your works.
- 3** Carry out a **job risk assessment** and safe work method statement to determine if works can be completed outside of the danger zone/s.
- 4** **Consider your options:** If you can't complete works outside of the danger zone/s, contact us to establish what services are available to ensure you can complete your works safely.
- 5** **Follow to 5 P's of excavation: Plan, Prepare, Pothole, Protect and Proceed** for any works near underground assets. Visit Before You Dig Australia at byda.com.au for more on 'safe excavation' practices.

What happens if I need to work within a danger zone?

If you are unable to work outside the danger zone, we can help with a range of services to ensure your safety and those around you. Cost and timings vary for all of the below services.

Distribution assets (0 – 33,000 volts)	Aerial visual covers (tiger tails)	<ul style="list-style-type: none">• Available for installation on low voltage powerlines only, up to 1,000 volts• Does not provide insulation or reduce the danger zone
	Isolation or de-energisation	<ul style="list-style-type: none">• Ensures work can be carried out safely within a reduced danger zone
	Relocation or removal	<ul style="list-style-type: none">• Ensures work and/or event activity can be completed without breaching danger zones
Transmission and communication assets (33,000 – 330,000 volts)	Isolation	<ul style="list-style-type: none">• Ensures work can be completed safely within a reduced danger zone
	Relocation	<ul style="list-style-type: none">• Ensures work and/or event can be completed without breaching danger zones
	Earth potential rise/low frequency induction studies	<ul style="list-style-type: none">• Provides a grid based review of your work• Cost and time implications apply
	Provision of technical data	<ul style="list-style-type: none">• Provides specific asset data that may be useful for your job risk assessment/safe work method statement
	Civil/structural assessments	<ul style="list-style-type: none">• Ensure the works will not cause detriment to electrical assets

Working around overhead assets

To maintain your safety and the safety of others, WHS Regulation R166A states you are not allowed to carry out works within a danger zone. Ignoring this may result in prosecution or being held liable for any damage to the grid. We are obligated to inform Worksafe WA of any non-compliance concerns.

What is a danger zone?

A danger zone is a specific area surrounding live electrical apparatus that ordinary persons, equipment and materials must not enter. The size of the danger zone is determined by the voltage of the electrical apparatus.

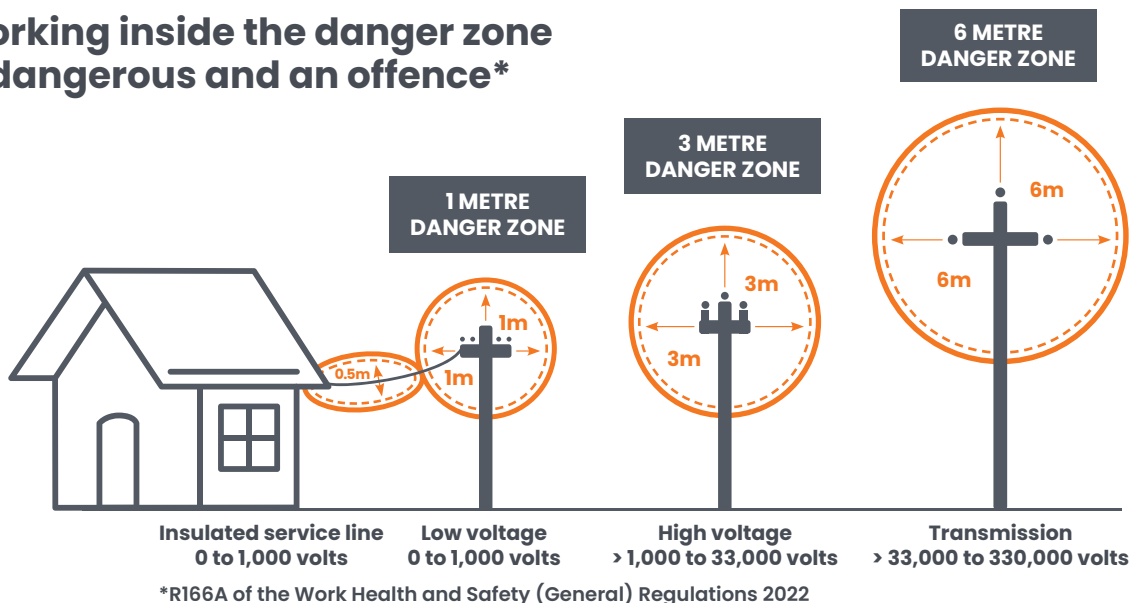
You should always:

- establish the location and voltages of electrical assets in your work area to determine the required clearances by contacting Before You Dig Australia. Use location and voltage information to adopt the appropriate work method statement to ensure work is completed safely.

Tips:

- do not lift loads directly underneath powerlines
- do not lift loads over powerlines
- establish your lay down area, site storage and disposal points away from electrical assets.

Working inside the danger zone is dangerous and an offence*



Working around underground assets

Digging, excavating, drilling and other underground works can be dangerous if the risks are not managed properly. Contact with electrical assets can also leave an entire community without essential services.

Excavation work safety checklist

- 1 Follow the 5 Ps process: Plan, Prepare, Pothole, Protect and Proceed. To find out more about safe work practices relevant to your industry, contact Worksafe WA or your industry association.
- 2 Contact Before You Dig Australia to obtain a cable location plan. Plans supplied include overhead powerline and underground cable voltage information, which is used to determine minimum approach distances. Determine if the proposed excavation is within the minimum approach distance of any underground cables and/or overhead powerlines by using your industry standards, codes of practice and guidelines regarding safe excavation.

- 3 If you are within the minimum approach distance, adopt appropriate controls to ensure work is completed safely.
- 4 Consider the operating height and reach of any excavation equipment to ensure it does not enter the danger zone for overhead powerlines.
- 5 Engage a qualified underground service locating professional to confirm the locations of known and any unknown underground services in the work area.
- 6 Determine the collapsible area of the proposed excavation.
- 7 Pothole by hand or other non-destructive means to remove small amounts of soil to prove the location and depth of underground services. Check that no services have been exposed after each shovel load.
- 8 Only use mechanical excavation after all services have been identified and exposed, subject to restrictions outlined on the table below.
- 9 Proceed with care.
- 10 If you are unable to locate an underground cable, encounter any issues associated with the underground assets such as damaged insulation or cables, or in the event that you discover a cable not shown on your plan, stop work and call us on **13 10 87**.

Please refer to the **WorkSafe Excavation Work Code of Practice 2013** for more information on safe excavation.

Minimum approach distances for underground works

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/ non-destructive digging
Up to and including 1,000V	30cm	Approach with care, avoid contact
1,000V up to and including 33kV	50cm	
Greater than 33kV up to and including 132kV	3m*	

*Western Power must assess any works within 3m of cables 33kV and above.

Staying safe while operating oversized vehicles

Transporting oversized loads can be dangerous, especially if steps haven't been taken to ensure the load remains a safe distance from powerlines. Mainroads WA requires us to authorise all load movements around WA where the load is more than 4.3m high (4.6m for livestock vehicles and towed agricultural machinery).

Oversize vehicle movement safety checklist

- 1 Contact Main Roads WA with your route to obtain a permit for travel.
- 2 Contact us to apply for authorisation of the oversized load movement, if the height of the load exceeds 4.3m. We will then assess the application and issue you with an Oversize Load Movement Authorisation.
- 3 Once authorisation has been issued no changes can be made. If changes are required a new authorisation must be issued, which includes a new permit processing fee.

If we establish that works are required, such as the raising of powerlines, we will provide you with a quote. At times an escort may be required to ensure the vehicle is kept clear of powerlines at all times.

The heights of powerlines can vary depending on the voltage and environment. Operators of loads 4.3m and above must refer to Main Roads WA before applying to Western Power for authorisation.

Visit [westernpower.com.au/360-aware](https://www.westernpower.com.au/360-aware) to find out more and view any applicable fees.

Handling emergencies

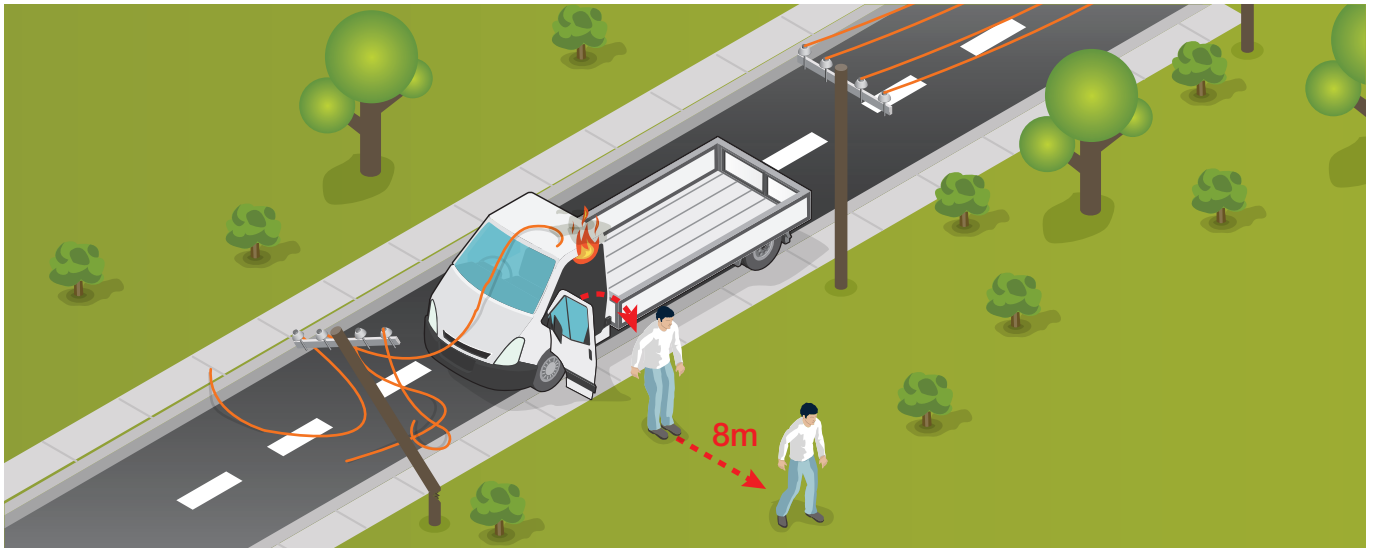
What to do in an emergency

If you are involved in an emergency or see an emergency involving our electrical assets, please follow these steps:

- 1 In a life threatening emergency call **000**.
- 2 For all other electrical emergencies, or after you have called **000**, call our 24/7 emergency number on **13 13 51**.
- 3 Keep bystanders clear – at least 8m from any electrical assets.
- 4 Wait for Western Power to attend to make the area safe.
- 5 All instances of electric shock and or electrocution need to be reported to Worksafe on Freecall **1800 678 198**.

What is considered an emergency?

- fire on or near the grid
- fallen powerlines including low hanging, dangling, clashing together or arcing
- a pole has fallen or is leaning and sparking
- an underground cable, green dome or padmount transformer (green kiosk) is damaged or has exposed wires
- a substation door or gate is open
- you feel tingling or shocks from taps or appliances.



What to do if you are in a vehicle in contact with electricity

- 1 Advise any bystanders not to approach and to remain at least 8m away from the vehicle and any downed electrical assets.
- 2 It is safe to use your mobile phone whilst in the vehicle to call **000** and **13 13 51**.
- 3 Stay in the vehicle unless fire or other life threatening circumstances occur. Evacuating a vehicle in contact with powerlines is extremely dangerous and should be avoided if possible.
- 4 If you are forced to evacuate; jump clear of the vehicle landing with both feet together; do not touch the ground and the vehicle at the same time as this may create a path for electricity to flow through your body, which could electrocute you.
- 5 Slowly shuffle at least 8m away, keeping your feet close together.
- 6 Do not return to the vehicle until we have declared the area safe.
- 7 The vehicle may need to be quarantined for 24 hours including a professional tyre check or replacement due to tyre pyrolysis.
- 8 If you receive an electric shock, seek medical advice even if you are not injured.



363 Wellington Street Perth WA 6000

GPO Box L921 Perth WA 6842

westernpower.com.au/360-aware

Emergencies and power outage

13 13 51 (24 hours, seven days a week)

General enquiries

13 10 87 (7am – 5pm Monday to Friday)

Telephone interpreter services

13 14 50

TTY users (speech or hearing impaired only)

1800 13 13 51

Emergency services

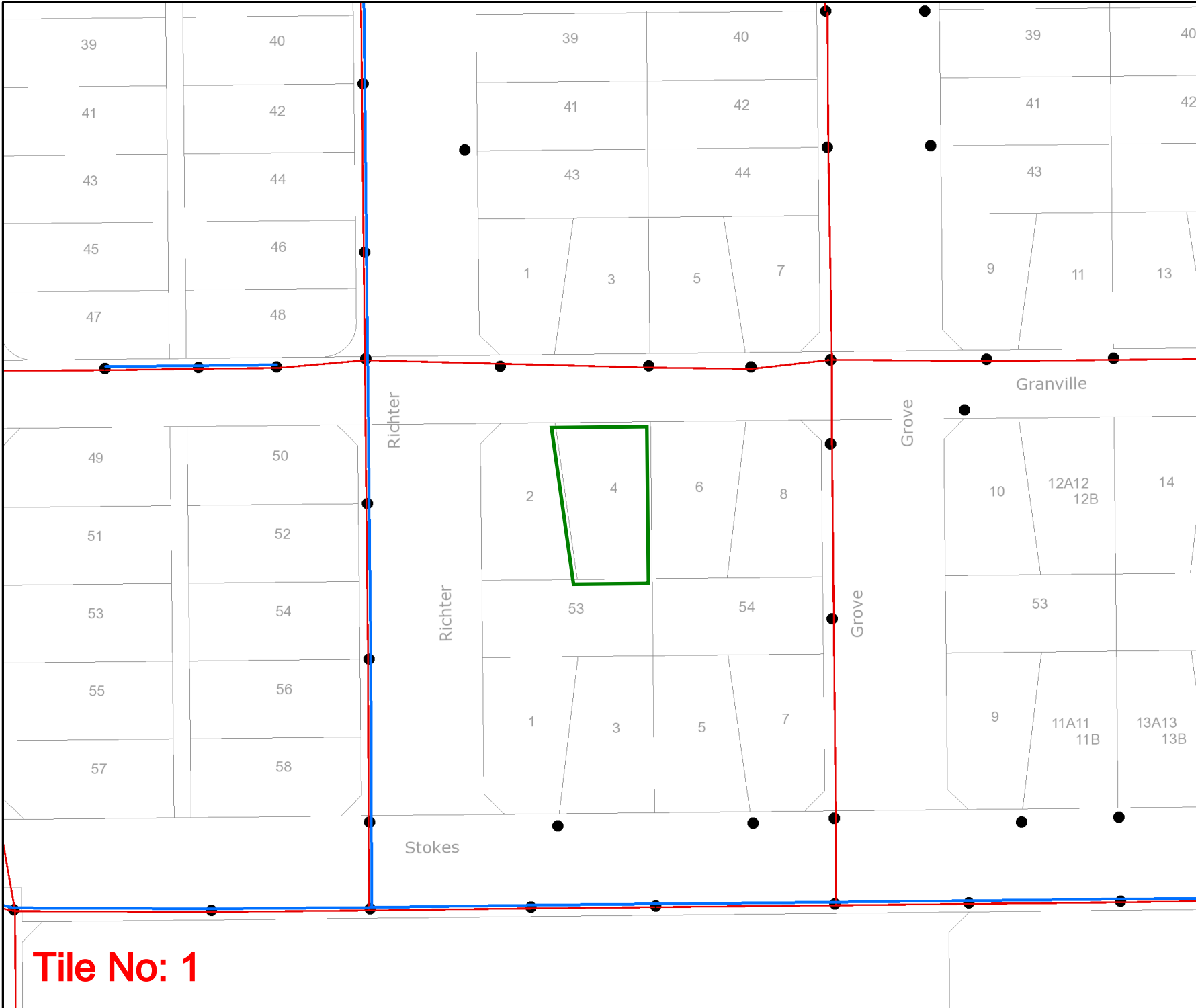
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Before You Dig Australia

byda.com.au

This information is available in alternative formats if requested.





OVERHEAD LEGEND

Structures	
● Power Pole	■ Transmission Poles
Transmission Overhead Powerline	
Transmission (33kV - 330kV)	
Distribution Overhead Powerline	
High Voltage (1kV - 33kV)	
Low Voltage (< 1kV)	
Proposed Construction Assets	
Design Area *	
High Voltage Overhead Powerline	
Low Voltage Overhead Powerline	
Power Pole	
Communications Assets	
Overhead Pilot Cable	
Feature	
Area of Interest	

* Please refer to coversheet

Privately owned cables NOT SHOWN
(including house services)

This map is INDICATIVE ONLY.
Check that you have enough
clearance from the DANGER ZONES
near overhead powerlines.

Telephone Support: 1300 769 345
Mon to Fri - 08:00 to 16:30

Information valid for 30 days
from date of issue

A4 Scale : 1:1500

WARNING! Look out for
overhead power lines

Tile No: 1

From: [BYDA - Shire of Morawa](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923117 - Referral 265571850 - RHFS
Date: Thursday, 11 December 2025 9:21:09 AM
Attachments: [149137-205_sewer_map 6 of 6 265571850.pdf](#)
[149137-203_Sewer map 4 of 6 265571850.pdf](#)
[149137-200_Sewer map 1 of 6 265571850.pdf](#)
[149137-202_sewer_map 3 of 6 265571850.pdf](#)
[149137-100_RevA 265571850.pdf](#)
[149137-201_sewer_map 2 of 6 265571850.pdf](#)
[149137-204_sewer_map5 of 6 265571850.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was uploaded by Shire of Morawa in response to your Before You Dig enquiry.

Uploaded 11 Dec 2025 9:20:09am

Attention: **Marty Symmons**

Thank you for your Before You Dig (BYDA) enquiry.

Job Number: **51923117**

Sequence Number: **265571850**

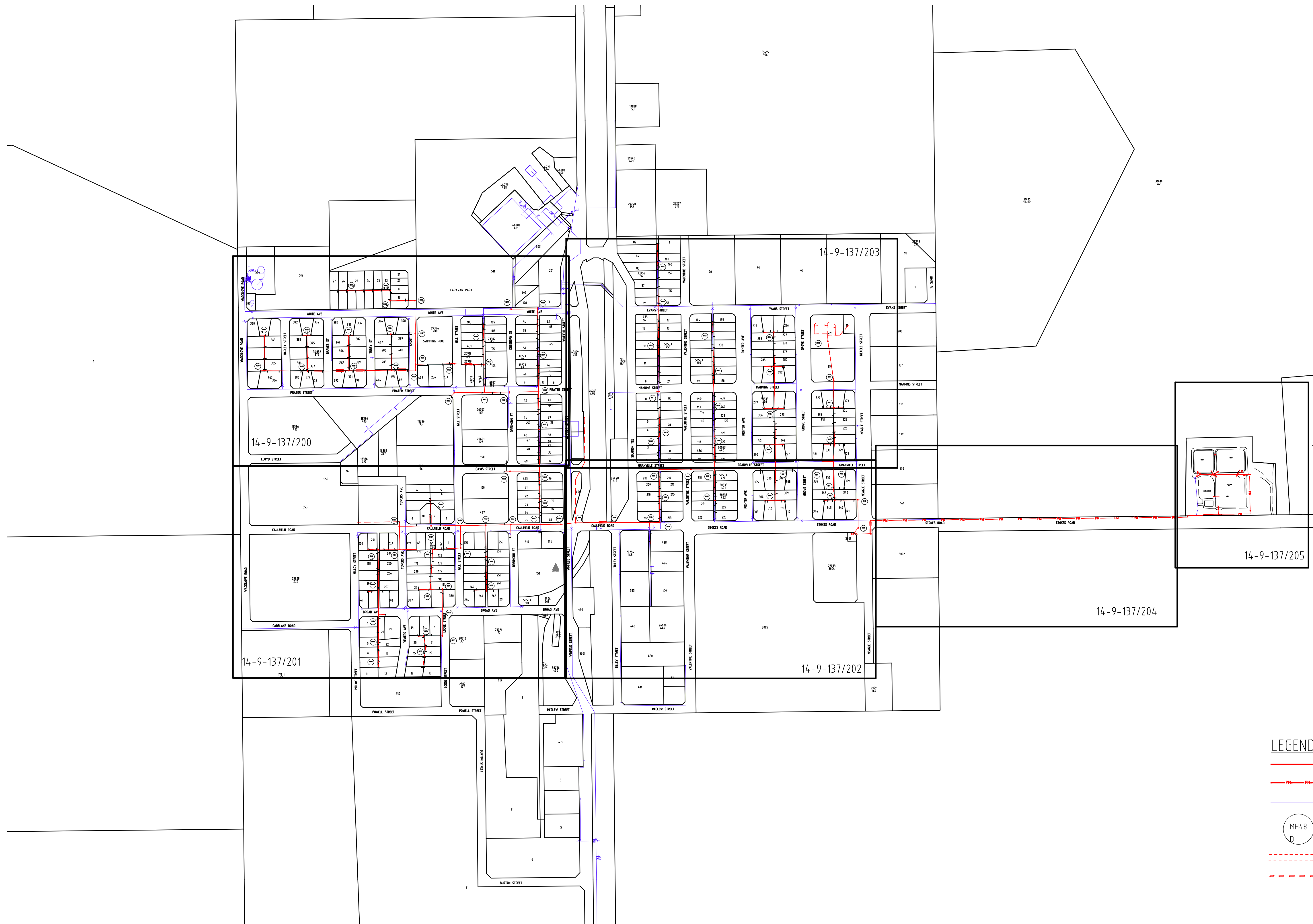
Dig Site Location: **4 Granville St Morawa WA 6623**

According to our records, your enquiry with the following details **impacts our infrastructure**. Please ensure that you read the attached documents, it contains important information including essential steps that must be undertaken prior to commencing construction activities.

This enquiry is valid for **30 days** from the enquiry date.

If you require further information or assistance with interpretation of plans, please contact **Shire of Morawa** on **(08) 9971 1204** joe.hodges@morawa.wa.gov.au

This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the BYDA enquiry outlined above. Please ensure that the BYDA enquiry details and this response accurately reflect your proposed works.



LEGEND

- EXISTING SEWER PIPE
- EXISTING SEWER PRESSURE MAIN PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MANHOLE DETAIL
D DROP
- CONCRETE ENCASING
- INTERNAL SEWER



PROJECT:

MORAWA SEWER RETICULATION

0	ISSUED FOR CONSTRUCTION	BY
NO.	DATE	REVISION

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75080 Pty Ltd ACN 626 997 548 is a trustee for the Consulting Engineering Unit Trust trading as Porter Consulting Engineers 408 75 426 296 385

Level 2 Kishore Court
50 Kishore Road
M9 Piessefont 4553 WA
PO Box 1036
Canning Bridge 4553 WA
Tel (08) 9315 9955
Fax (08) 9315 9959
Email office@portereng.com.au
www.portereng.com.au

CLIENT:

SHIRE OF MORAWA

DRAWING:

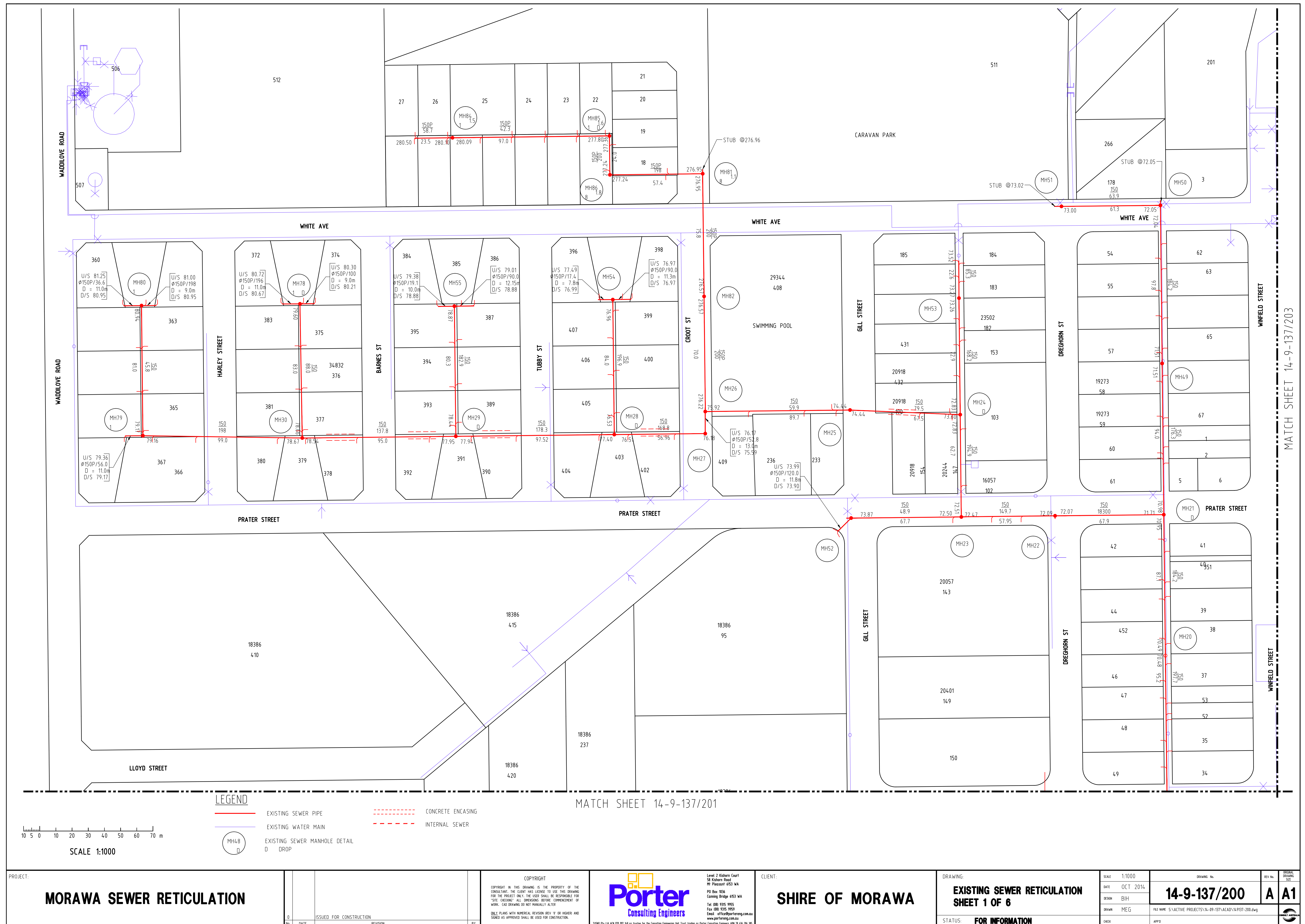
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STATUS: FOR INFORMATION

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DATE	OCT 2014
DESIGN	BIH
DRAWN	MEG
CHECK	

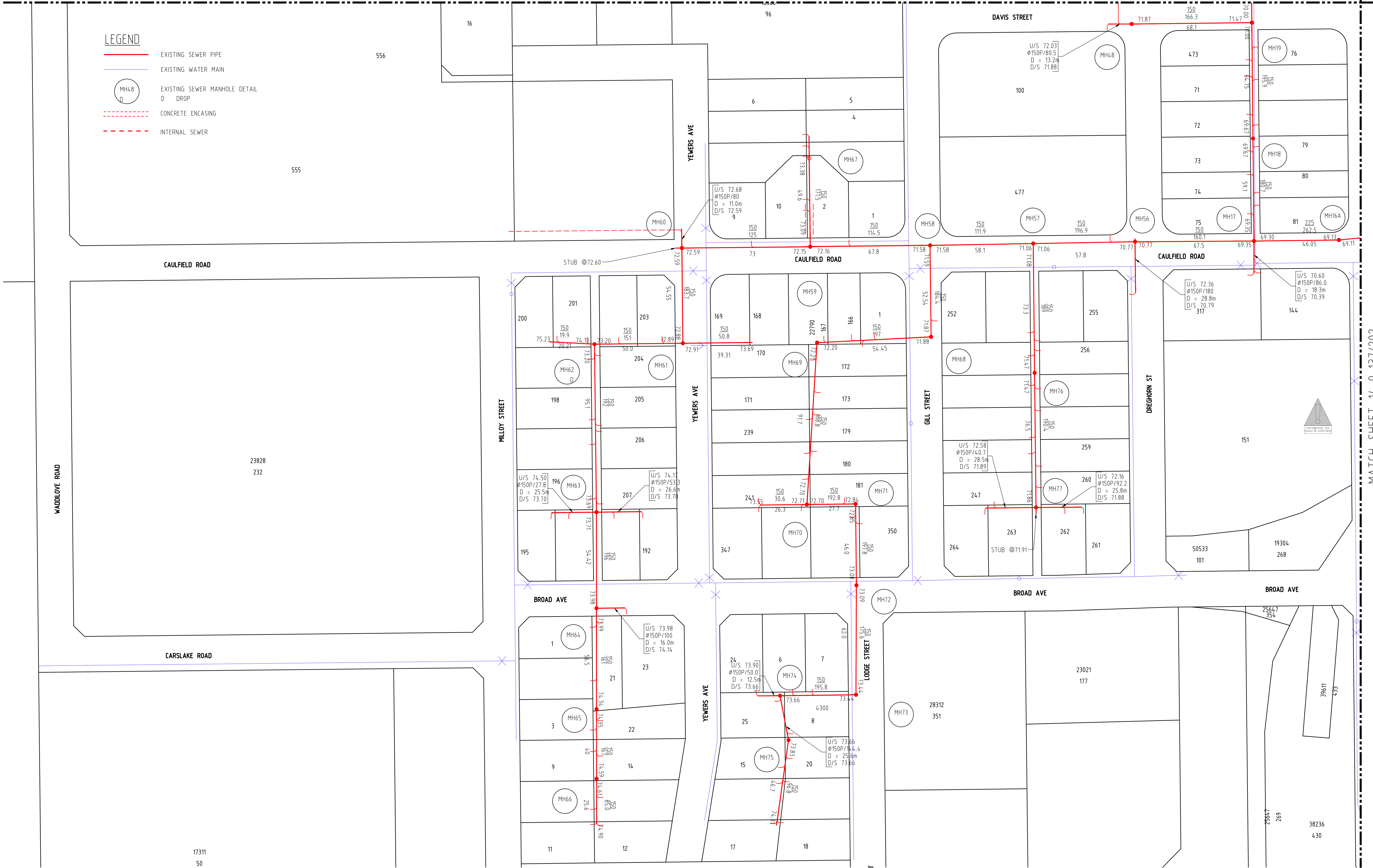
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LEGEND

- EXISTING SEWER PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MANHOLE DETAIL
D DROP
- CONCRETE ENCASING
- INTERNAL SEWER



MATCH SHEET 14-9-137/202

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MORAWA SEWER RETICULATION

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Porter Consulting Engineers

Level 2 Kishore Court
50 Kishore Road
Mt Pleasant 4553 WA
PO Box 1036
Canning Bridge 6153 WA
Tel: (08) 9315 9955
Fax: (08) 9315 9959
Email: office@portereng.com.au
www.portereng.com.au

CLIENT:

SHIRE OF MORAWA

DRAWING:

EXISTING SEWER RETICULATION
SHEET 2 OF 6

STATUS: FOR INFORMATION

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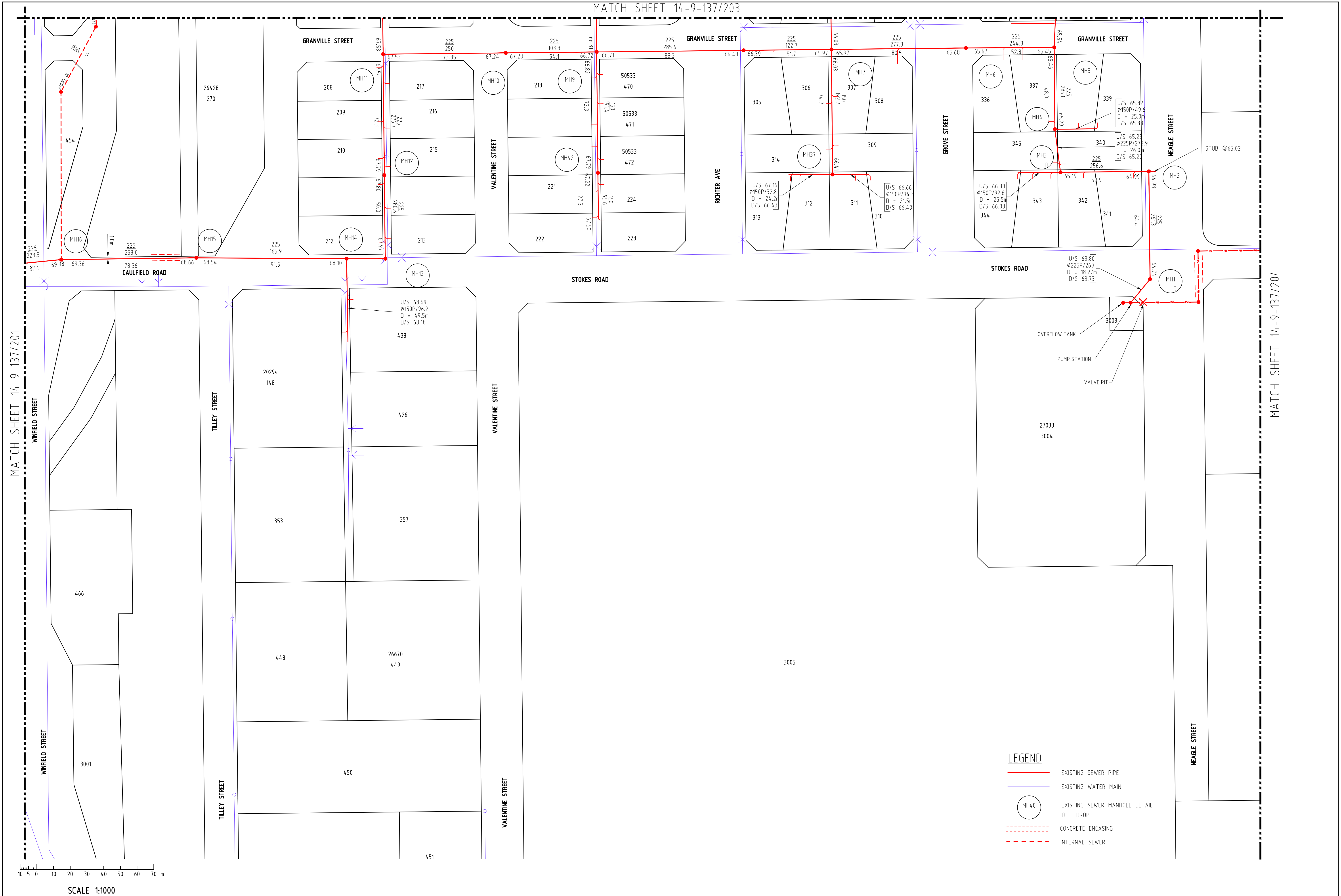
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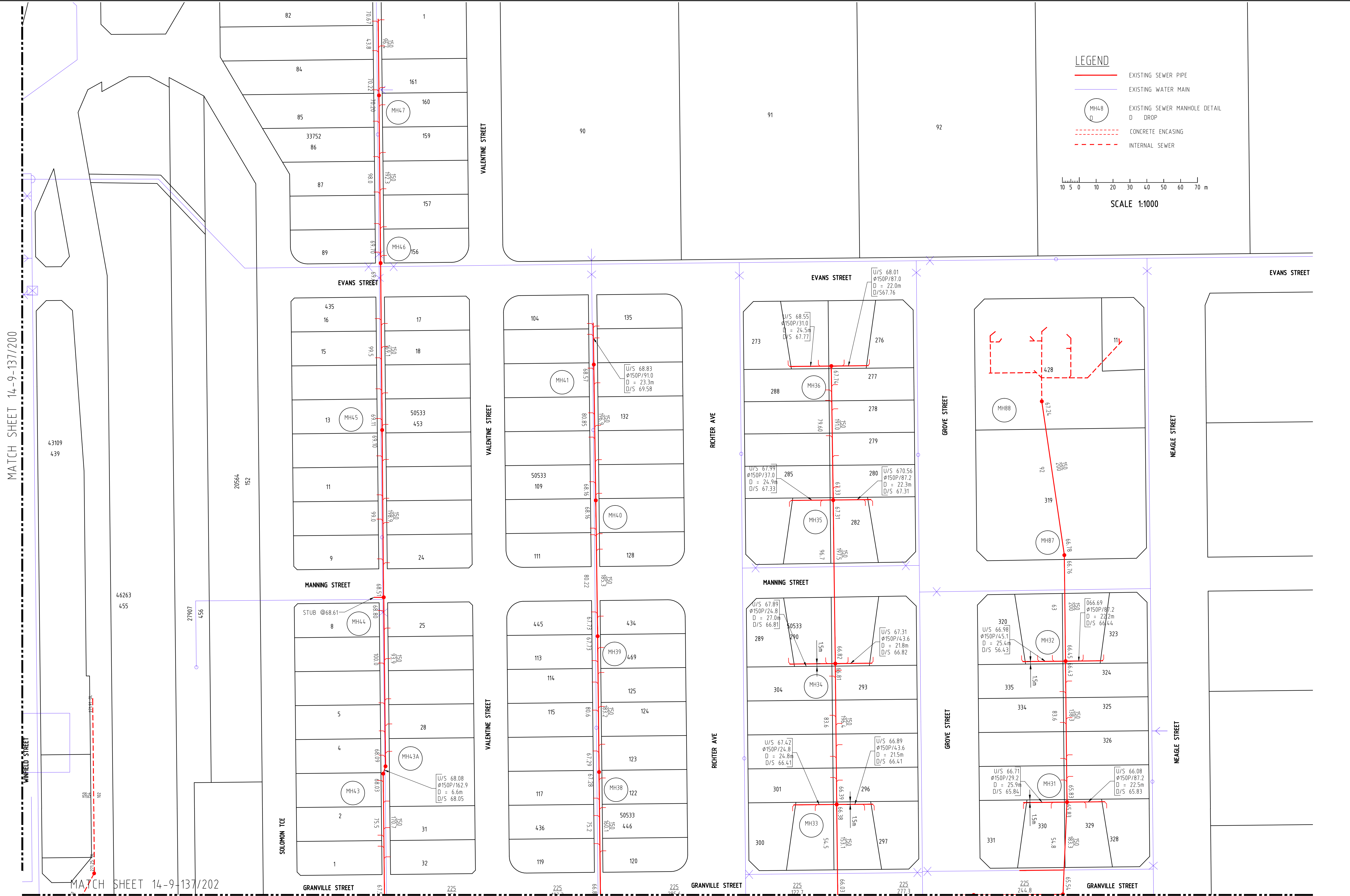
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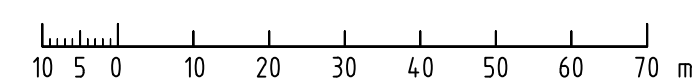
LEGEND

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|  | EXISTING SEWER PRESSURE MAIN PIPE |
|  | EXISTING WATER MAIN |
|  | EXISTING SEWER MANHOLE DETAIL
D DROP |
|  | CONCRETE ENCASING |
|  | INTERNAL SEWER |



MATCH SHEET 14-9-137/202

MATCH SHEET 14-9-137/205



SCALE 1:1000

PROJECT:

MORAWA SEWER RETICULATION

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58 Kishorn Road
Mt Pleasant 6153 WA
PO Box 1036
Canning Bridge 6153 WA
Tel (08) 9315 9955
Fax (08) 9315 9959
Email office@portereng.com.au
www.portereng.com.au


CLIENT:

SHIRE OF MORAWA

DRAWING:

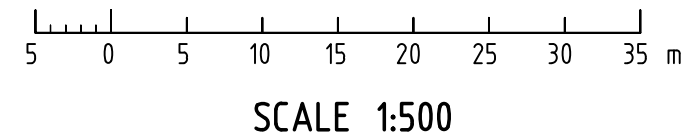
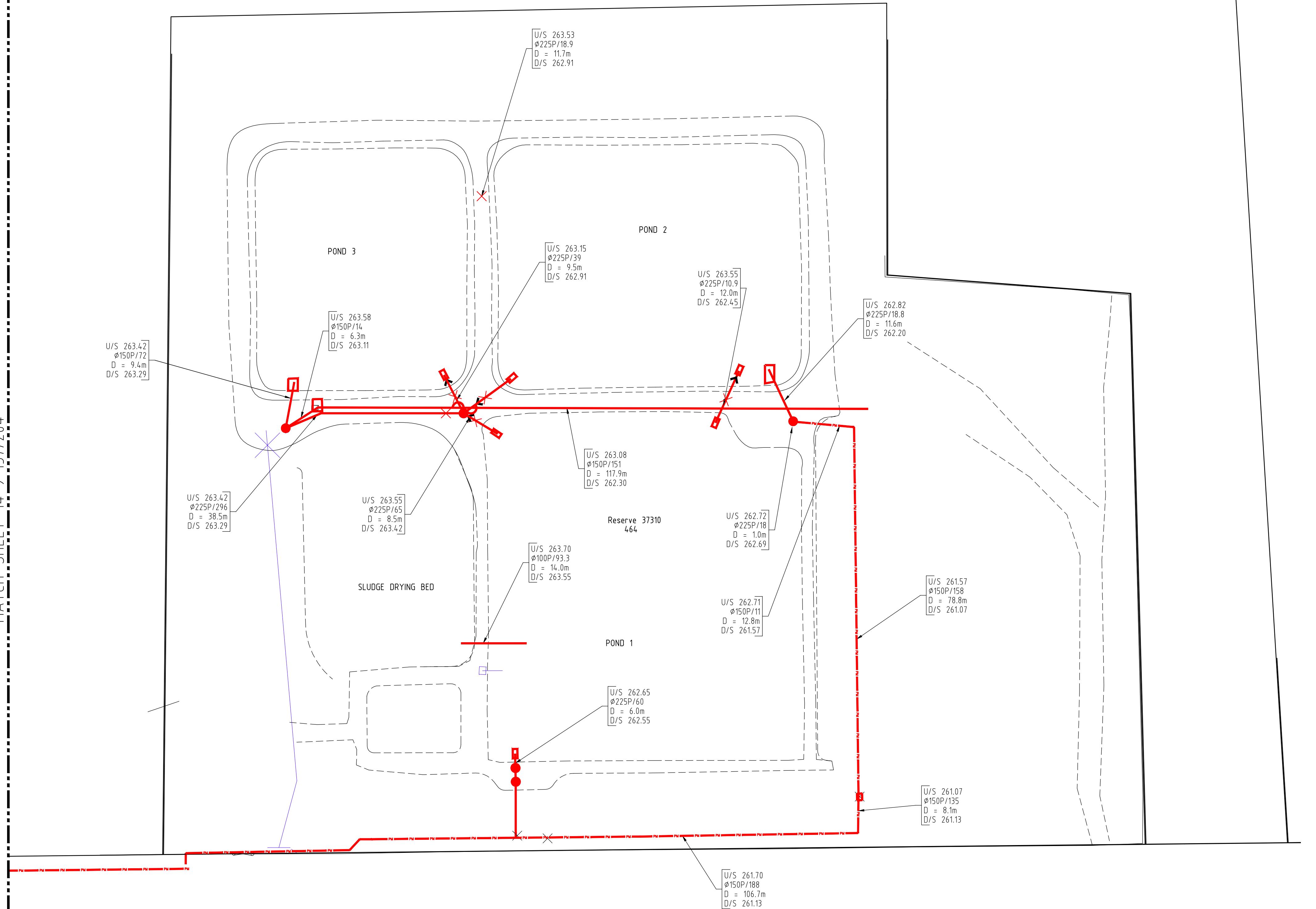
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SHEET 5 OF 6

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MATCH SHEET 14-9-137/204



LEGEND

- EXISTING SEWER PIPE
- EXISTING SEWER PRESSURE MAIN PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MANHOLE DETAIL
- D DROP
- CONCRETE ENCASING
- INTERNAL SEWER

PROJECT:

MORAWA SEWER RETICULATION

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ONLY PLANS WITH NUMERICAL REVISION REV '1' OR HIGHER AND SIGNED AS APPROVED SHALL BE USED FOR CONSTRUCTION.

Porter
Consulting Engineers

20080 Pty Ltd ACN 626 997 148 as trustee for The Consulting Engineering Unit Trust trading as Porter Consulting Engineers 408 70 426 296 385

Level 2 Kishore Court
50 Kishore Road
Mt Pleasant 6153 WA
PO Box 1036
Canning Bridge 6153 WA
Tel (08) 9315 9955
Fax (08) 9315 9959
Email office@portereng.com.au
www.portereng.com.au

CLIENT:

SHIRE OF MORAWA

DRAWING:

EXISTING SEWER RETICULATION
SHEET 6 OF 6

STATUS: FOR INFORMATION

SCALE 1:500

DATE OCT 2014

DESIGN BIH

DRAWN MEG

CHECK

DRAWING No.

14-9-137/205

REV No.

A A1

ORIGIN
DRAWING
SIZE

FILE NAME S:\ACTIVE PROJECTS\14-09-137\ACAD\14\9137-200.dwg

APPD

WESTERN



AUSTRALIA

TITLE NUMBER

Volume

Folio

1686

432

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 75 ON DEPOSITED PLAN 204494

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

SHIRE OF MORAWA OF PO BOX 14 MORAWA WA 6623

(T Q210381) REGISTERED 13/11/2024

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1686-432 (75/DP204494)
PREVIOUS TITLE: 1007-780
PROPERTY STREET ADDRESS: 59 DREGHORN ST, MORAWA.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF MORAWA



Transfer C948309

WESTERN

AUSTRALIA

Volume 1007 Folio 780



1686 432

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

N. J. Smyth

REGISTRAR OF TITLES

Dated 31st January, 1985

ESTATE AND LAND REFERRED TO

Estate in fee simple in Morawa Lot 75, delineated and coloured green on the map in the Third Schedule hereto, limited however to the natural surface and therefrom to a depth of 60.96 metres.

FIRST SCHEDULE (continued overleaf)

~~Kevin Joseph Coughlan, Shearer and Valerie Mary Coughlan, Married Woman, both of Post Office Box 185, Morawa, as joint tenants.~~

SECOND SCHEDULE (continued overleaf)

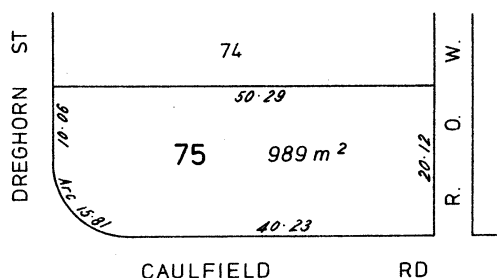
NIL

N. J. Smyth

REGISTRAR OF TITLES

THIRD SCHEDULE

Scale 1:750
Index Plan 5562 (4)
J.P.H.



NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72009/12/77-45M-S/2860

FIRST SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

SECOND SCHEDULE (continued)

CERTIFICATE OF TITLE VOL. 1686 432

From: [BYDA - Western Power](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923108 - Referral 265571794 - RHSF
Date: Thursday, 11 December 2025 9:21:34 AM
Attachments: [265571794 - Western Power Response letter.pdf](#)
[265571794 - Western Power - Overhead Plan.pdf](#)
[Western Power - Safety Brochure.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Western Power in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923108, Sequence No 265571794 - 59 Dreghorn St, Morawa WA 6623
Original sender	westernpower@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:20:52am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923108

Sequence no.: 265571794

Dig site location:

59 Dreghorn St
Morawa WA 6623

Attached are the files containing Western Power information relating to your recent BYDA request. Please read and understand all the attached documentation provided and call [13 10 87](#) if you have any queries.

Note: Plans are now supplied as separate attachments - please ensure that you review all attached documents

If you have received this email in error, please advise us by calling [13 10 87](#) and quote the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp





Date: 11 Dec 2025

To: Marty Symmons
Company: Not Supplied
Phone Details: +61427711204
Email Address: 7fz45zo1mmm4v.v8a7gugvour3sa@smarterwx-mail.byda.com.au

Sequence Number: 265571794
Job Number: 51923108
Dig Site Location: Morawa, WA 6623

Before You Dig Australia information sheet

This information related to both underground and overhead network assets and is valid for **30 days from the date of issue. You must refer to current plans at all times.**

- **The *Energy Operators (Powers) Act 1979* makes it an offence to damage Western Power's network.**
- **The *Work Health and Safety (General) Regulations* establish restrictions for working safely around the Western Power network.**
- **Western Power's *Network Policy and Standards* along with applicable easement conditions establish restrictions for development around the Western Power network.**

It is the duty of care of persons planning to work or develop around Western Power's network to comply with the requirements of these statutory obligations and any other legislation, standard or guidance relevant.

Western Power's network assets are classified below:

Network Asset	Classification
Transmission	66kV or greater
Distribution	33kV or less (including low voltage)
Communication and other cables	communications, pilot cables, fibre optics, earths

General information

- Any information provided is a guide only and is subject to conditions of use
- Not all underground assets may be shown. If you discover a cable NOT shown on your map or you wish to clarify the construction status of assets in Design Areas, contact Western Power on **13 10 87**.
- You must make use of safe non-destructive methods (including, but not limited to, the 5 Ps) before carrying out any excavation work. It is mandatory for the customer/excavator/contractor to physically locate all services before excavating.



363 Wellington Street Perth 6000
GPO Box L921 Perth WA 6842
westernpower.com.au



↑ 13 10 87
f (08) 9225 2660
TTY 1800 13 13 51
TIS 13 14 50

Electricity Networks Corporation
ABN: 18 540 492 861

- Never assume the depth and alignment of cables. It may vary over time, depending on ground condition, age of the cable, road resurfacing, landscaping, etc.
- If you are unsure, you should stop work and refer to a qualified service locator.
- You can refer to the Utility Providers Code of Practice for Western Australia for further information regarding street works in public road reserves

Danger zones and minimum approach distances

A person conducting a business or undertaking or a person with management of control of a workplace is required under the *Work Health and Safety (General) Regulations 2022* to ensure that a worker (or plant or material of the worker) does not come within an unsafe distance of an underground powerline or within the danger zone for an overhead powerline. A danger zone represents an area of high risk when working and developing around the Western Power overhead network. It is a requirement to work and develop outside of these areas.

Minimum approach distances for underground cables

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/non-destructive digging
Up to and including 1,000V (low voltage)	30cm	Approach with care, avoid contact
1,000V up to and including 33kV (high voltage)	50cm	
Greater than 33kV up to and including 330kV (transmission)	3m (Western Power must assess any works within 3m of cables 33kV and above)	

Danger zones for overhead powerlines:

Nominal voltage	Minimum approach distance
Low voltage (0 – 1000 volts)	1m
High voltage (>1000 to 33,000 volts)	3m
Transmission (>33,000 to 330,000 volts)	6m

If you propose to work/develop within or close to these areas, contact our Customer Service Centre on 13 10 87. Please allow adequate time before you commence work to discuss your options.

Easements

Works within a Western Power easement area are required to comply with applicable restrictions under Western Power's standard easement conditions. These conditions are established under the relevant easement document on the Certificate of Title which can be obtained from Landgate at your own cost (additional fees may apply).

If there is no easement, you must still follow Western Power's Network Policy and Standards (available at <https://www.westernpower.com.au/industry/manuals-guides-standards/> or by calling **13 10 87**).

Map legend information

Label	Meaning
Proposed Construction Assets	Overhead/underground assets may possibly be found in the Design Area shaded on the plan.
Design Area	Fieldworks are possibly in progress or just completed and the plans supplied may differ from the current state in the ground or overhead.
UG Crossing	There could be multiple underground ducts at that location.

Not depicted on Western Power Before You Dig Australia plans

Label	Meaning
Cables within a private property	For example, from pillar (green dome) to your electric meter. A cable-locating company will have to be contacted for on-site locations in the private property.

State Underground Power Program (SUPP) in progress or completed

Retrospective large-scale undergrounding of power and/or communications assets has been identified in the vicinity of your enquiry.

Please refer to the attached plan(s), for instructions or additional information.

Large Scale Undergrounding in Progress

Not all underground assets shown, there may be uncommissioned underground assets installed. Attached plan does not depict all Western Power underground activity.

Conditions on the use of information

The following are conditions on which Electricity Networks Corporation (**Western Power**) provides this Information Sheet and accompanying or related plans, diagrams, drawings and data (**Information**) to you (**the User**). These conditions are in addition to any obligations the User may have under law. You must immediately report any damage to Western Power's assets by calling Western Power on 13 13 51.

These conditions do not purport to limit or otherwise exclude the application of any term, warranty or condition that cannot be excluded by law, including but not limited to those contained in Schedule 2 of the *Competition and Consumer Act 2010* (Cth) and corresponding provisions.

By taking the Information Sheet and/or making any use of the Information, the User (and their servants and agents) acknowledge and accept:

1. There are risks associated with works near powerlines which may lead to service disruptions, property damage, serious injury or death;
2. While working in the vicinity of Western Power's assets, the User has a duty of care to Western Power to avoid loss or damage to Western Power's assets;
3. The Information is a guide only and may not correspond with the precise location of Western Power's assets;
4. The Information is valid for 30 days only from the date of issue and must be replaced if required after the 30 days.
5. The User relies upon the Information at their own risk;
6. The User must use safe and non-destructive methods to confirm the location of Western Power's assets (including safe work practices such as the 5 Ps and engaging qualified service locators at the User's cost) ;
7. The User must comply with the obligations referred to in this Information Sheet and in the Information in addition to any obligations imposed by law; and
8. The User must make enquiries with other utilities or property owners that may have cables or services in the area (including any that do not participate in the Before You Dig Australia program).

Western Power and each of its servants or agents:

1. Do not make or give any representation or warranty, express or implied, as to the accuracy, reliability, currency, timeliness or completeness of the Information;
2. Disclaim to the fullest extent the law permits and will not be liable or responsible for, any liability, loss or damage, whether direct or indirect (and whether or not arising out of negligence, breach of duty or statutory duty, or lack of care, of Western Power and its servants or agents or of any of them) arising out of, or in connection with, any use or reliance on the Information; and
3. Are under no obligation to correct, update or revise the Information.

Western Power's assets are lawfully placed in accordance with the *Energy Operators (Powers) Act 1979* (WA) and it is an offence under the Act for an unauthorised person to interfere with Western Power's network assets. Western Power reserves its rights to:

1. recover any loss or damage to its assets caused by any person (including legal costs and interest); and
2. refer any unauthorised person for prosecution under the *Energy Operators (Powers) Act 1979* (WA).

Western Power owns the copyright in this Information Sheet and accompanying Information. The User must not use or reproduce any part of the Information Sheet or the Information for any other purpose without the written consent of Western Power.



Planning ahead to work safe



**360
AWARE**



Your safety is our number one priority. The guidelines set out in this fact sheet have been developed for use alongside existing standards and codes of practice that apply to your industry.

Please refer to these when putting any risk management procedures in place before working around electrical assets. To reduce risk, we recommend you plan for works away from these assets as a priority.

Fulfilling your safety obligations

Working around electricity, whether underground or overhead, is high risk work. If you are overseeing a work area you must ensure no person, plant or materials enters the danger zone of an overhead powerline or other electrical assets. The danger zone is set out in the Work Health and Safety (General) Regulations 2022.

If there is a risk that work you are carrying out might interfere with any electrical services you must:

- establish the location of the service/s that might be affected
- have an accurate diagrammatic representation of the service that might be impacted by works, at the workplace before work commences.

Please refer to the Work Health and Safety (General) Regulations 2022 to find out more about your responsibilities.

Know what you're working near?

When assessing a work area you need to know the location and voltage of any underground power cables and overhead assets nearby. To obtain this information please visit Before You Dig Australia at byda.com.au



Working near electricity safety checklist

- 1** Obtain asset information: Submit a Before You Dig Australia enquiry at byda.com.au to determine the location and voltage of overhead and underground assets.
- 2** Perform an onsite inspection – existence, location, alignment of assets that could be impacted by your works.
- 3** Carry out a **job risk assessment** and safe work method statement to determine if works can be completed outside of the danger zone/s.
- 4** **Consider your options:** If you can't complete works outside of the danger zone/s, contact us to establish what services are available to ensure you can complete your works safely.
- 5** **Follow to 5 P's of excavation: Plan, Prepare, Pothole, Protect and Proceed** for any works near underground assets. Visit Before You Dig Australia at byda.com.au for more on 'safe excavation' practices.

What happens if I need to work within a danger zone?

If you are unable to work outside the danger zone, we can help with a range of services to ensure your safety and those around you. Cost and timings vary for all of the below services.

Distribution assets (0 – 33,000 volts)	Aerial visual covers (tiger tails)	<ul style="list-style-type: none">• Available for installation on low voltage powerlines only, up to 1,000 volts• Does not provide insulation or reduce the danger zone
	Isolation or de-energisation	<ul style="list-style-type: none">• Ensures work can be carried out safely within a reduced danger zone
	Relocation or removal	<ul style="list-style-type: none">• Ensures work and/or event activity can be completed without breaching danger zones
Transmission and communication assets (33,000 – 330,000 volts)	Isolation	<ul style="list-style-type: none">• Ensures work can be completed safely within a reduced danger zone
	Relocation	<ul style="list-style-type: none">• Ensures work and/or event can be completed without breaching danger zones
	Earth potential rise/low frequency induction studies	<ul style="list-style-type: none">• Provides a grid based review of your work• Cost and time implications apply
	Provision of technical data	<ul style="list-style-type: none">• Provides specific asset data that may be useful for your job risk assessment/safe work method statement
	Civil/structural assessments	<ul style="list-style-type: none">• Ensure the works will not cause detriment to electrical assets

Working around overhead assets

To maintain your safety and the safety of others, WHS Regulation R166A states you are not allowed to carry out works within a danger zone. Ignoring this may result in prosecution or being held liable for any damage to the grid. We are obligated to inform Worksafe WA of any non-compliance concerns.

What is a danger zone?

A danger zone is a specific area surrounding live electrical apparatus that ordinary persons, equipment and materials must not enter. The size of the danger zone is determined by the voltage of the electrical apparatus.

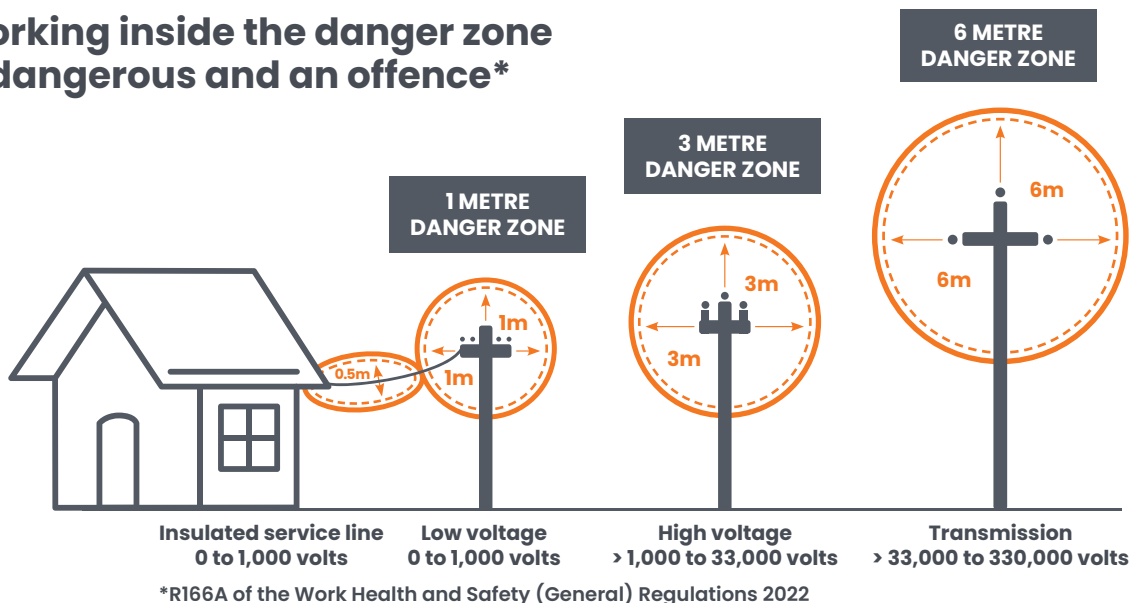
You should always:

- establish the location and voltages of electrical assets in your work area to determine the required clearances by contacting Before You Dig Australia. Use location and voltage information to adopt the appropriate work method statement to ensure work is completed safely.

Tips:

- do not lift loads directly underneath powerlines
- do not lift loads over powerlines
- establish your lay down area, site storage and disposal points away from electrical assets.

Working inside the danger zone is dangerous and an offence*



Working around underground assets

Digging, excavating, drilling and other underground works can be dangerous if the risks are not managed properly. Contact with electrical assets can also leave an entire community without essential services.

Excavation work safety checklist

- 1 Follow the 5 Ps process: Plan, Prepare, Pothole, Protect and Proceed. To find out more about safe work practices relevant to your industry, contact Worksafe WA or your industry association.
- 2 Contact Before You Dig Australia to obtain a cable location plan. Plans supplied include overhead powerline and underground cable voltage information, which is used to determine minimum approach distances. Determine if the proposed excavation is within the minimum approach distance of any underground cables and/or overhead powerlines by using your industry standards, codes of practice and guidelines regarding safe excavation.

- 3 If you are within the minimum approach distance, adopt appropriate controls to ensure work is completed safely.
- 4 Consider the operating height and reach of any excavation equipment to ensure it does not enter the danger zone for overhead powerlines.
- 5 Engage a qualified underground service locating professional to confirm the locations of known and any unknown underground services in the work area.
- 6 Determine the collapsible area of the proposed excavation.
- 7 Pothole by hand or other non-destructive means to remove small amounts of soil to prove the location and depth of underground services. Check that no services have been exposed after each shovel load.
- 8 Only use mechanical excavation after all services have been identified and exposed, subject to restrictions outlined on the table below.
- 9 Proceed with care.
- 10 If you are unable to locate an underground cable, encounter any issues associated with the underground assets such as damaged insulation or cables, or in the event that you discover a cable not shown on your plan, stop work and call us on **13 10 87**.

Please refer to the **WorkSafe Excavation Work Code of Practice 2013** for more information on safe excavation.

Minimum approach distances for underground works

You should only commence digging once you have visually identified the location of underground services. We require you to meet the following minimum approach distances:

Nominal voltage	Minimum approach distance	
	Power tool or plant	Non-powered hand tool/ non-destructive digging
Up to and including 1,000V	30cm	Approach with care, avoid contact
1,000V up to and including 33kV	50cm	
Greater than 33kV up to and including 132kV	3m*	

*Western Power must assess any works within 3m of cables 33kV and above.

Staying safe while operating oversized vehicles

Transporting oversized loads can be dangerous, especially if steps haven't been taken to ensure the load remains a safe distance from powerlines. Mainroads WA requires us to authorise all load movements around WA where the load is more than 4.3m high (4.6m for livestock vehicles and towed agricultural machinery).

Oversize vehicle movement safety checklist

- 1 Contact Main Roads WA with your route to obtain a permit for travel.
- 2 Contact us to apply for authorisation of the oversized load movement, if the height of the load exceeds 4.3m. We will then assess the application and issue you with an Oversize Load Movement Authorisation.
- 3 Once authorisation has been issued no changes can be made. If changes are required a new authorisation must be issued, which includes a new permit processing fee.

If we establish that works are required, such as the raising of powerlines, we will provide you with a quote. At times an escort may be required to ensure the vehicle is kept clear of powerlines at all times.

The heights of powerlines can vary depending on the voltage and environment. Operators of loads 4.3m and above must refer to Main Roads WA before applying to Western Power for authorisation.

Visit [westernpower.com.au/360-aware](https://www.westernpower.com.au/360-aware) to find out more and view any applicable fees.

Handling emergencies

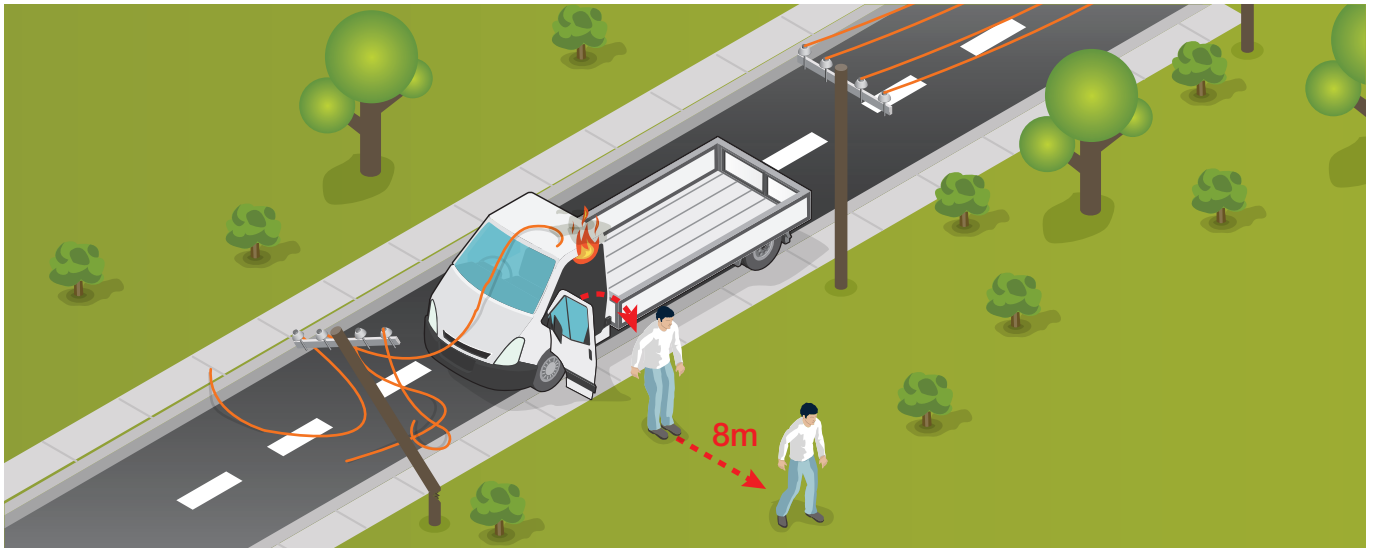
What to do in an emergency

If you are involved in an emergency or see an emergency involving our electrical assets, please follow these steps:

- 1 In a life threatening emergency call **000**.
- 2 For all other electrical emergencies, or after you have called **000**, call our 24/7 emergency number on **13 13 51**.
- 3 Keep bystanders clear – at least 8m from any electrical assets.
- 4 Wait for Western Power to attend to make the area safe.
- 5 All instances of electric shock and or electrocution need to be reported to Worksafe on Freecall **1800 678 198**.

What is considered an emergency?

- fire on or near the grid
- fallen powerlines including low hanging, dangling, clashing together or arcing
- a pole has fallen or is leaning and sparking
- an underground cable, green dome or padmount transformer (green kiosk) is damaged or has exposed wires
- a substation door or gate is open
- you feel tingling or shocks from taps or appliances.



What to do if you are in a vehicle in contact with electricity

- 1 Advise any bystanders not to approach and to remain at least 8m away from the vehicle and any downed electrical assets.
- 2 It is safe to use your mobile phone whilst in the vehicle to call **000** and **13 13 51**.
- 3 Stay in the vehicle unless fire or other life threatening circumstances occur. Evacuating a vehicle in contact with powerlines is extremely dangerous and should be avoided if possible.
- 4 If you are forced to evacuate; jump clear of the vehicle landing with both feet together; do not touch the ground and the vehicle at the same time as this may create a path for electricity to flow through your body, which could electrocute you.
- 5 Slowly shuffle at least 8m away, keeping your feet close together.
- 6 Do not return to the vehicle until we have declared the area safe.
- 7 The vehicle may need to be quarantined for 24 hours including a professional tyre check or replacement due to tyre pyrolysis.
- 8 If you receive an electric shock, seek medical advice even if you are not injured.



363 Wellington Street Perth WA 6000

GPO Box L921 Perth WA 6842

westernpower.com.au/360-aware

Emergencies and power outage

13 13 51 (24 hours, seven days a week)

General enquiries

13 10 87 (7am – 5pm Monday to Friday)

Telephone interpreter services

13 14 50

TTY users (speech or hearing impaired only)

1800 13 13 51

Emergency services

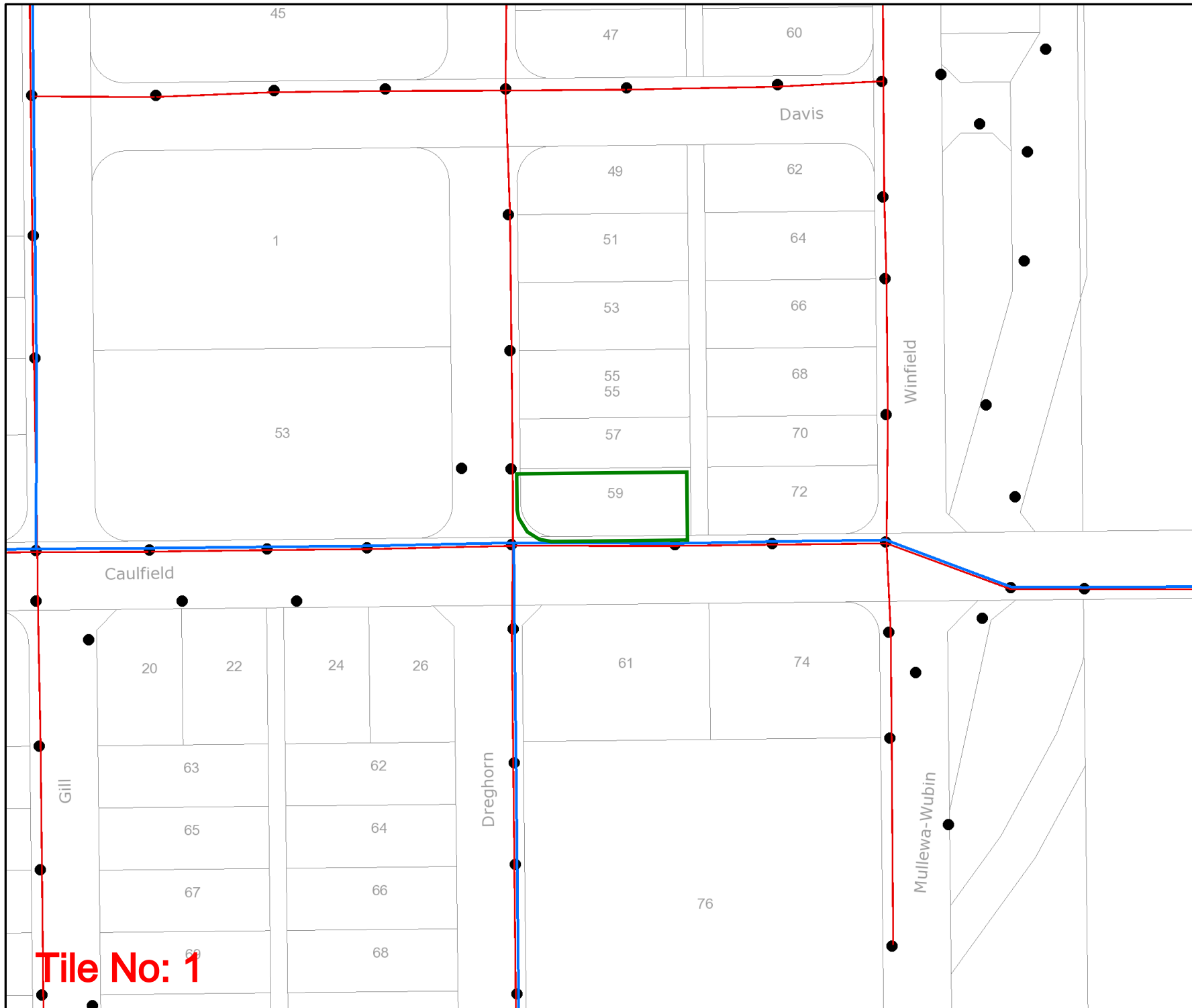
000


Before You Dig Australia

byda.com.au

This information is available in alternative formats if requested.







OVERHEAD LEGEND

Structures

● Power Pole

■ Transmission Poles

Transmission Overhead Powerline

Transmission (33kV - 330kV)

Distribution Overhead Powerline

High Voltage (1kV - 33kV)

Low Voltage (< 1kV)

Proposed Construction Assets

Design Area *

High Voltage Overhead Powerline

Low Voltage Overhead Powerline

● Power Pole

Communications Assets

Overhead Pilot Cable

Feature

Area of Interest

*** Please refer to coversheet**

Privately owned cables NOT SHOWN (including house services)

This map is **INDICATIVE ONLY**.
Check that you have enough clearance from the **DANGER ZONES** near overhead powerlines.

Telephone Support: 1300 769 345
Mon to Fri - 08:00 to 16:30

Information valid for 30 days from date of issue

A4

Scale : 1:1500

WARNING! Look out for overhead power lines

Tile No: 1

From: [BYDA - Water Corporation](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923108 - Referral 265571795 - RHSF
Date: Thursday, 11 December 2025 9:20:07 AM
Attachments: [265571795 - Water Corp Cover letter.pdf](#)
[265571795 - Water Corp - Critical Water Assets Plan.pdf](#)
[Information Brochure - Legend.pdf](#)
[Public Safety - Excavation.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Water Corporation in response to your Before You Dig enquiry.

Original subject	BYDA Response for Job No 51923108, Sequence No 265571795
Original sender	watercorp@ticketaccess.pcgcs.com.au
Received	11 Dec 2025 9:19:29am AWST



ATTENTION: Marty Symmons

PLEASE DO NOT SEND A REPLY TO THIS EMAIL AS IT HAS BEEN AUTOMATICALLY GENERATED AND REPLIES ARE NOT MONITORED.

Thank you for your BYDA enquiry.

BYDA Job no.: 51923108

Sequence no.: 265571795

Requested Location Address:

59 Dreghorn St
Morawa WA 6623

Attached are the files related to your recent BYDA request. Please review all the attached documentation carefully.

For any enquiries, contact Asset Protection at
POS_enquiries@watercorporation.com.au.

Important Note: Plans are now provided as separate attachments - please ensure you review all attached documents.

If you have received this email in error, please let us know by contacting **POS_enquiries@watercorporation.com.au.** and quoting the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as [Adobe Acrobat Reader \(for PDF files\)](#)



Compiled with **TicketAccess** by PelicanCorp



WATER CORPORATION UNDERGROUND ASSET DETAILS

Requestor details:

Marty Symmons
Not supplied
26 Winfield Street
Morawa WA 6623
Phone: +61427711204

Sequence No: 265571795
BYDA Job No: 51923108
Enquiry Date: 11 Dec 2025
Issue Date: 11 Dec 2025

Requested location details:

Address: 59 Dreghorn St, Morawa WA 6623

Note: The response for this enquiry has been interpreted from details in the picture location only.

Water Corporation asset impact:

WARNING - CRITICAL PIPELINES FOUND

The area you requested contains a critical pipeline. You may need to contact us with regard to this request prior to digging – see attached documents.

Important:

1. Plans show approximate location only – verify location by potholing before using powered machinery.
2. Please read all information and attachments.
3. All documents must be kept together and retained on site by the work team.
4. This information is valid for 30 days from date of issue.

Plan Legend (summary)



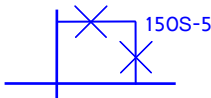
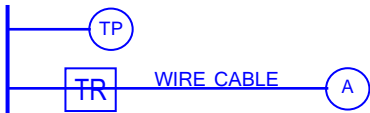





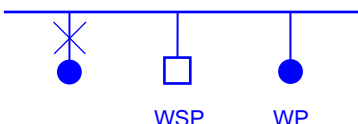
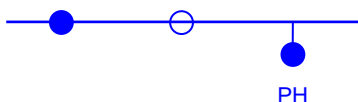
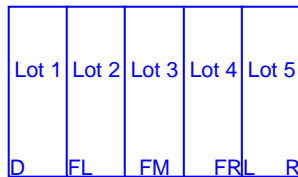

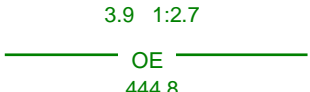
INFORMATION BROCHURE



This legend is provided to [Dial Before You Dig](#) users to assist with interpreting Water Corporation plans. A more detailed colour version can be downloaded from www.watercorporation.com.au. (Your business > Working near pipelines > Downloads)

WARNING - Plans may not show all pipes or associated equipment at a site, or their accurate location. **Pothole by hand** to verify asset location before using powered machinery.

	<p>WATER, SEWERAGE AND DRAINAGE PIPELINES</p> <p>CRITICAL PIPELINE (thick line) EXTRA CAUTION REQUIRED A risk assessment may be required if working near this pipe. Refer to your Dial Before You Dig information or call 131375.</p> <p>Pipes are not always labelled on plans as shown here – assume all pipes are significant and pothole to prove location and depth.</p> <p>P.M. pressure main M.S. main sewer R rising main (i.e. drainage pressure main)</p> <p>Common material abbreviations:</p> <p>AC asbestos cement e.g. 100AC NOTE: AC is brittle and is easily damaged. CI cast iron GRP glass reinforced plastic P PVC - class follows pipe material (e.g.100P-12) RC reinforced concrete S steel VC vitrified clay</p>
	<p>NON-STANDARD ALIGNMENT</p> <p>Pipes are not always located on standard alignments due to local conditions. (i.e. Other than 2.1 m for reticulation mains and 4.5 m for distribution mains.)</p>
	<p>OTHER PIPE SYMBOLS</p> <p>Other numbers or codes shown on pipes are not physical attributes. These are Water Corporation use only.</p>
	<p>CONCRETE ENCASEMENT, SLEEVING AND TUNNELS</p> <p>May be in different forms: steel, poured concrete, box sections, slabs.</p>
	<p>CHANGE INDICATOR ARROW</p> <p>Indicates a change in pipe type or size. e.g. 150mm diameter PVC to 150mm diameter asbestos cement (AC).</p>
	<p>PIPE OVERPASS</p> <p>The overpass symbol indicates the shallower of the two pipes.</p>
	<p>VALVES</p> <p>Many different valve types are in use. Valve may be in a pit or have a visible valve cover. There may be no surface indication.</p> <p>Valves may be shallower than the main or offset from it. e.g. A scour valve (SC) may have a pipe coming away from main pipeline on the opposite side to that indicated on the plan.</p>

 	FIRE SERVICES 100 mm polythene domestic (DOMS) service FS Fire service FHS Fire hydrant service Hydrant may be visible external to the building. Even if not visible a substantial fire service may still be present.	
	PIPE BYPASS Bypass will not be on the same alignment as the main pipeline.	
	CATHODIC PROTECTION (CP) Buried CP equipment may be located some distance from the pipeline being protected interconnected by buried cable. All CP fittings may not be visible. A buried anode – various sizes and configurations TP test point - may be visible on a post or in-ground TR transformer rectifier	
	ACCESS TEE OR MANHOLE OR SERVICE ACCESS PIT NOTE: Opening any manhole or pit is dangerous and is prohibited. Below ground. May not be any visible signs at ground level or may be located in a pit.	
	WASTEWATER ACCESS CHAMBERS (MANHOLES) -- Manhole (shown not labelled) -- Tee or maintenance shaft (shown not labelled) MS maintenance shaft (labelled) WARNING: Opening any manhole or pit is dangerous and is prohibited.	
	WASTEWATER MANHOLE INFORMATION BOXES Square non-trafficable Do not drive vehicles over or place loads. Round trafficable In general if not located in the road treat as if non-trafficable.	
	HAZARDOUS MANHOLE Indicates a potential health hazard from risk of exposure to toxic waste. WARNING: Opening any manhole is dangerous and is prohibited.	
	FLOWMETER Various types of flow meters located in a pit. May be labelled with identifier. (e.g. 50 MFM, 50MM)	
	STANDPIPE, WATER SAMPLING POINT (WSP), WATER SUPPLY POINT (WP) May be located adjacent to mains. Usually there will be some visible indication.	
	Hydrant May not be visible. Hydrant Tee May not be visible. Pillar hydrant Visible	
	PRE-LAID SERVICES D Deferred FL Fully Prelaid Left FM Fully Prelaid Front Middle FR Fully Prelaid Right L Left R Right Code indicates on which side of a lot the water service is located: May be no visible indication at site.	
	SEWER OR DRAINAGE PUMP STATION Several pipes and a pressurised main will be in the vicinity.	
	OPEN CHANNEL OA Landscaped OE Normal Open Earth OF Open channel with flood levee OH Half Pipe OL Lined Channel OS Swale-Shallow Depression OW Natural Water Course Drainage structures, even if dry, must be kept clear of any obstruction such as sand stockpiles.	

Excavation

Excavation can be dangerous, especially if you're digging without knowing what's below. If you're excavating, it's your responsibility to locate Water Corporation assets and prevent contact to keep you, your team and the community safe.

This information is important if you're a planner, construction worker, supervisor, or in similar roles.

Duty of care

The safety of your workers and the public remains your responsibility, as per Work Health and Safety Regulations 2022 - Reg 34, 35 & 36.

Make sure you positively locate all assets before excavating and have a safe system of work. All work must be in accordance with the relevant acts, regulations, standards and codes of practice.

Risk of working near our assets

Water Corporation has a vast network with different risks depending on the asset and location:

- **Energy release:** sudden release of high pressure or high flowing water, which can result in collapse of excavations, buildings and impact to people. The sudden release of large volumes of water under pressure is dangerous and can lead to drowning, significant structural damage, community or supply disruption and traffic hazards.
- **Electricity:** electric shock exposure due to asset age, electrical assets located close to our pipelines, electric faults, equipment failure and lightning.
- **Falls:** pits and access chambers, which create fall and drowning risks.
- **Hazardous materials:** biohazards from the release of wastewater with infectious agents and toxic or flammable gases. Pipelines may contain or be coated with hazardous materials.

Secondary hazards may result from damage or disruption to Water Corporation infrastructure.

It's important to assess the risks associated with your work.

Ensure you have your Before You Dig Australia (BYDA) plans.

Lodge a free enquiry online
www.byda.com.au

Before you dig – remember the 5 Ps:

1. Plan	2. Prepare	3. Pothole	4. Protect	5. Proceed
<ul style="list-style-type: none">• Plan ahead by lodging your BYDA enquiry, and ensure you have the correct information to carry out work safely.• Plan ahead by applying for an APRA on our website. Search Working Near Our Assets.	<ul style="list-style-type: none">• Prepare by reviewing the utility plans and contact the asset owners if you need help.• Perform a site inspection- identify any surface indicators of underground asset clues such as pit lids, marker posts and meters.• Engage a skilled locator to locate assets electronically before potholing	<ul style="list-style-type: none">• Pothole, using the asset owner's stated method as specified on the plans and information pack.• Pothole methods include hand digging and hydro vacuum extraction• Backfill potholes on completion	<ul style="list-style-type: none">• Protect any exposed utility assets, ensure to contact the utility providers and seek direction	<ul style="list-style-type: none">• Proceed with care -once all checks have been completed and all relevant permits and authorisations are granted.

Never rely on BYDA plans on as the sole means of locating assets; follow all five steps.

Never use an excavator to identify the underground asset.

Our danger zones

Water Corporation assets have a prescribed proximity. These vary due to asset size and type. It's important to know the danger zones to keep yourself safe. Locate the assets before performing work. Excavations can undermine assets, so always follow the [Excavation: Code of practice](#).

Approval is required if your proposed work is in, on, over, under or within the prescribed proximities to our assets (as per [Water Services Act 2012](#)– Sections 88 and 90).

Type of work	Asset type	Asset size	Prescribed proximity (distance from the asset)
Ground disturbing works <i>Including movement of heavy vehicles, ground compaction, dewatering, earthworks, open and trenchless excavations</i>	Sewer pipelines	All	2m
	Main drains		
	Water supply pipelines	< 300mm diameter	4m
	Water supply pipelines	≥ 300mm diameter	6m
	Sewer pressure pipelines	All	
	Drainage pressure mains		

Prescribed proximity information taken from the Water Corporation [Technical Guidelines](#).

Changes to site conditions

If site conditions change, stop work and reassess the risks.

Contact for support

Asset Protection: POS_enquiries@watercorporation.com.au

Technical and Building enquiries: visit our [website](#) or call 13 13 95

To get our approval visit
[Working near our assets](#)

In case of emergency

Life-threatening emergency; contact Emergency Services on 000.

Water or wastewater emergencies; contact Faults and Emergencies (24/7) on 13 13 75.

Disclaimer

Any plans or other information provided by Water Corporation must be used as a guide only. Plans (including the location of pipes and other assets) are approximate only and it is your responsibility to locate the exact location of Water Corporation assets before commencing work. Water Corporation does not warrant or make any representation as to the accuracy, completeness, reliability, currency, quality or fitness for purpose of any plans or other information (including, but not limited to, the accuracy of the scale of, or the location of, anything shown on any plan or diagram).



From: [BYDA - Telstra \(WA\)](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923108 - Referral 265571796 - RHSF
Date: Thursday, 11 December 2025 9:26:29 AM
Attachments: [1E566564.gif](#)
[1E211078.gif](#)
[1E550642.gif](#)
[1E892067.gif](#)
[1E640173.gif](#)
[1E761520.gif](#)
[1E450735.gif](#)
[1E815824.gif](#)
[1E727887.gif](#)
[Telstra Duty of Care v33.0a.pdf](#)
[Telstra Map Legend v4_0c.pdf](#)
[AccreditedPlantLocators 2025-09-16a.pdf](#)
[265571796.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was sent by email from Telstra (WA) in response to your Before You Dig enquiry.

Original subject DBYD JOB: 51923108 SEQ: 265571796 - 59
Dreghorn St, Morawa WA 6623
Original sender TAMS@dominoapp.in.telstra.com.au
Received 11 Dec 2025 9:25:43am AWST




Attention: Marty Symmons

Site Location: 59 Dreghorn St, Morawa, WA 6623

Your Job Reference: RHSF

Please do not reply to this email, this is an automated message -

Thank you for requesting Telstra information via Before You Dig Australia (BYDA). This response contains Telstra Information relating to your recent request.

 Accredited Plant Locator	General Contact Information including applications required to view Cable Plans - DWF & PDF
 Telstra Duty of Care V32	Your responsibility and Legal requirements working near Telstra's Assets
 Telstra Map Legend 4.0	Common Symbols on Cable Plans and Safe Clearance distances when working near Telstra Assets







Please note:

When working in the vicinity of telecommunications plant you have a 'Duty of Care' that must be observed.

Ensure you read all documents (attached) - they contain important information.

In particular please read and familiarise yourself with the Before you Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>, as these documents set out the essential steps that must be undertaken prior to commencing construction activities.

 <p>Best practice guides and the five P's of safe excavation</p>	<p>These are the essential steps to be undertaken prior to commencing construction activities</p>	<p>Essential Steps : Link</p> <p>5 P's: Link</p>
	<p>We highly recommend using certified locators where possible.</p>	<p>CERTLOC : Link</p>
 <p>1800 653 935</p> <p>Telstra Plan Services</p>	<p>Whenever in doubt please contact this number for Telstra BYDA map related enquiries email Telstra.Plans@team.telstra.com</p>	<p>Note: that Telstra plans are only valid for 60 days from the date of issue</p>
 <p>How to Report Damage to Telstra Equipment</p>	<p>If you think you have damaged Telstra Assets, please Report it ASAP.</p>	<p>Call: 13 22 03</p> <p>Report Online: Link</p>
	<p>It is a criminal offence under the 'Criminal code act 1995' to tamper or interfere with Telecommunications infrastructure. Telstra will take action to recover compensation for the damage caused to property and assets, and for interference with the operation of Telstra's networks and customer service.</p>	
	<p>Telstra plans contain confidential information and are provided on the basis that they are used solely for identifying location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause loss or damage. You must comply with any other terms of access to the data that have been provided by you by Telstra (including conditions of use or access).</p>	

WARNING - MAJOR CABLES and/or OPTIC FIBRE IN THE AREA.
Phone 1800 653 935 for further assistance.

Note: In some areas Telstra fibre routes may be marked as "Amcom", as Telstra has purchased much of this infrastructure. If in doubt, please contact Telstra Plan services on the number above. Telstra plans and information are only valid for 60 days from the date of issue.

WARNING:

Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing them. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra assets prior to commencing work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. See the **Before You Dig Australia - BEST PRACTISE GUIDES and The five Ps of safe excavation** <https://www.byda.com.au/before-you-dig/best-practice-guides/>.

Please note that:

- it is a criminal offence under the *Criminal Code Act* 1995 (Cth) to tamper or interfere with telecommunications infrastructure.
- Telstra will take action to recover compensation for damage caused to property and assets, and for interference with the operation of Telstra's networks and customers' services.

Telstra's plans contain Telstra's confidential information and are provided on the basis that they are used solely for identifying the location or vicinity of Telstra's infrastructure to avoid damage to this infrastructure occurring as part of any digging or other excavation activity. You must not use Telstra's plans for any other purpose or in a way that will cause Telstra loss or damage and you must comply with any other terms of access to the data that have been provided to you by Telstra (including Conditions of Use or Access).

(See attached file: Telstra Duty of Care v33.0a.pdf)

(See attached file: Telstra Map Legend v4_0c.pdf)

(See attached file: AccreditedPlantLocators 2025-09-16a.pdf)

(See attached file: 265571796.pdf)

Before You Dig Australia

Think before you dig

This document has been sent to you because you requested plans of the Telstra network through Before You Dig Australia (BYDA).

If you are working or excavating near telecommunications cables, or there is a chance that cables are located near your site, you are responsible to avoid causing damage to the Telstra network.

Please read this document carefully. Taking your time now and following the **BYDA's Best Practices and 5 Ps of Safe Excavation** <https://www.byda.com.au/before-you-dig/best-practice-guides/>

can help you avoid damaging our network, interrupting services, and potentially incurring civil and criminal penalties.

Our network is complex and working near it requires expert knowledge. Do not attempt these activities if you are not qualified to do so.



Disclaimer and legal details

*Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013.

It is a criminal offence under the Criminal Code Act 1995 (Cth) to tamper or interfere with telecommunications infrastructure.

Telstra will also take action to recover costs and damages from persons who damage assets or interfere with the operation of **Telstra's** networks.

By receiving this information including the indicative plans that are provided as part of this information package you confirm that you understand and accept the risks of working near **Telstra's** network and the importance of taking all the necessary steps to confirm the presence, alignments and various depths of **Telstra's** network. This in addition to, and not in replacement of, any duties and obligations you have under applicable law.

When working in the vicinity of a telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

The Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas, then you must not attempt these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers. Construction activities and/or any activities that potentially may impact on Telstra's assets must not commence without first undertaking these steps. Construction activities can include anything that involves breaking ground, potentially affecting Telstra assets.

If you are designing a project, it is recommended that you also undertake these steps to validate underground assets prior to committing to your design.

This Notice has been provided as a guide only and may not provide you with all the information that is required for you to determine what assets are on or near your site of interest. You will also need to collate and understand all information received from other Utilities and understand that some Utilities are not a part of the BYDA program and make your own enquiries as appropriate. It is the responsibility of the entities arranging for the works to be performed, supervising the works, and undertaking the works to protect Telstra network during excavation / construction works.

Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.

Telstra plans or other details are provided only for the use of the applicant, its servants, agents, or CERTLOC Certified Locating Organisation (CLO). The applicant must not give the plans or details to any parties other than these and must not generate profit from commercialising the plans or details. If the Applicant is aware of another party or parties about to perform or performing works at the location, it should ensure that the other party or parties have lodged a BYDA enquiry and obtained plans for that location. If you are undertaking excavations works you must follow the 5Ps of Safe Excavation. The 5 Ps of Safe Excavation are set out in the video in the below link.

<https://www.byda.com.au/education/resources/>

Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided always remains on-site throughout the inspection, location, and construction phase of any works.

Telstra plans are valid for 60 days after issue and must be replaced if required after the 60 days.

Data Extraction Fees

In some instances, a data extraction fee may be applicable for the supply of Telstra information. Typically, a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Location Intelligence Team.

Telstra does not accept any liability or responsibility for the performance of or advice given by a CERTLOC Certified Locating Organisation (CLO). Certification is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

Neither the Certified Locating Organisation nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Certified Locating Organisation or its employees.

Once all work is completed, the excavation should be reinstated with the same type of excavated material unless specified by Telstra.

The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

When using excavators and other machinery, also check the location of overhead power lines.

Workers and equipment must maintain safety exclusion zones around power lines

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Privacy Note

Your information has been provided to Telstra by BYDA to enable Telstra to respond to your BYDA request. Telstra keeps your information in accordance with its privacy statement. You can obtain a copy at www.telstra.com.au/privacy or by calling us at 1800 039 059 (business hours only).

General Information



Before you Dig Australia – BEST PRACTISE GUIDES
<https://www.byda.com.au/before-you-dig/best-practice-guides/>

OPENING ELECTRONIC MAP ATTACHMENTS –

Telstra Cable Plans are generated automatically in either PDF or DWF file types.
Dependent on the site address and the size of area selected.
You may need to download and install free viewing software from the internet e.g.



DWF Map Files (all sizes over A3)
Autodesk Viewer (Internet Browser) <https://viewer.autodesk.com/> or
Autodesk Design Review <http://usa.autodesk.com/design-review/> for DWF files.
(Windows PC)



PDF Map Files (max size A3)
Adobe Acrobat Reader <http://get.adobe.com/reader/>



Telstra New Connections / Disconnections
13 22 00



Telstra Protection & Relocation: 1800 810 443 (AEST business hours only).
[Email](#)
Telstra Protection & Relocation Fact Sheet: [Link](#)
Telstra Protection & Relocation Home Page [Link](#)



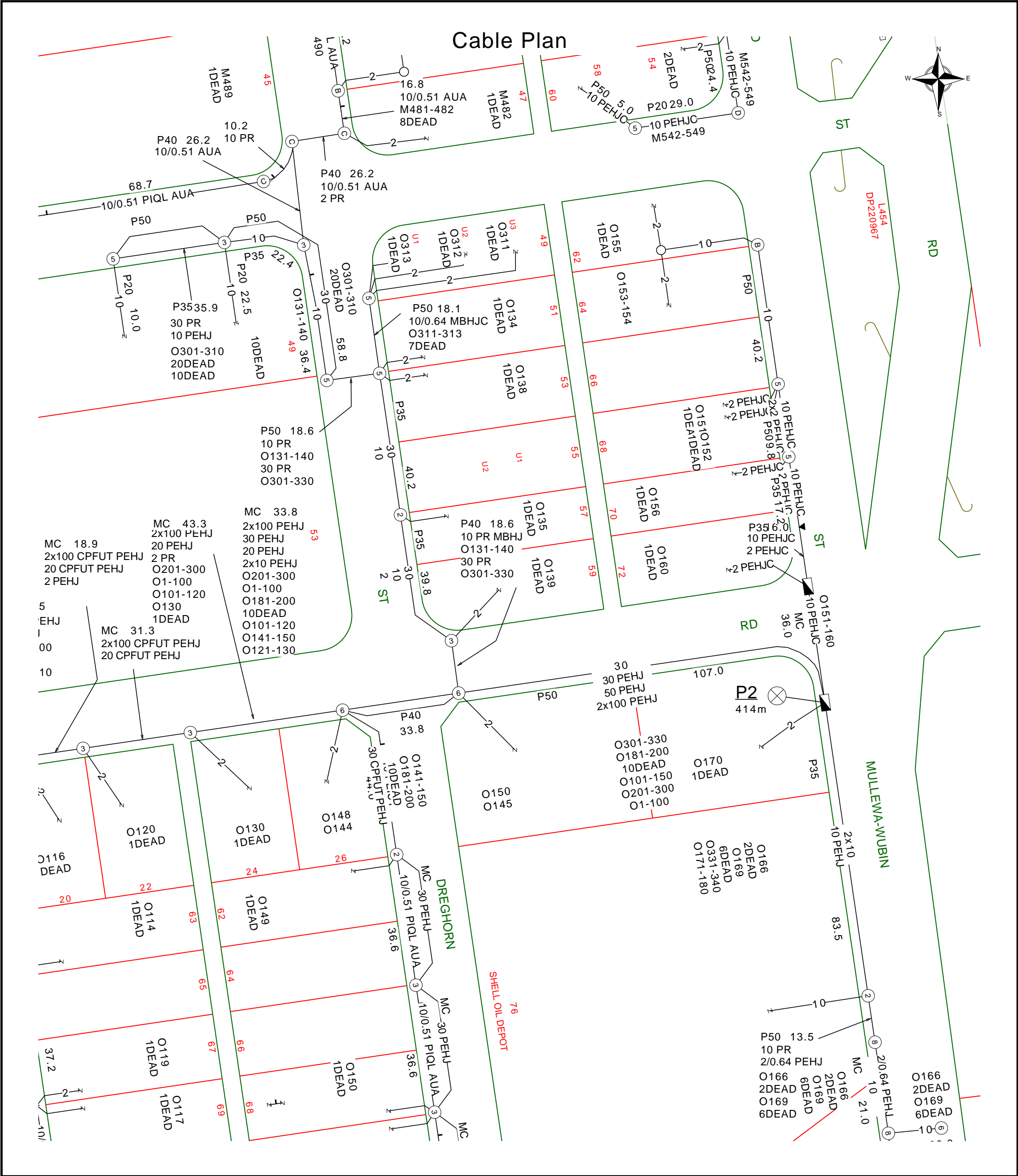
Telstra Aerial Assets Group (overhead network)
1800 047 909


Protect our Network:

by maintaining the following distances from our assets:

- 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- 500mm Vibrating Plate or Wacker Packer Compactor
- 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant.
- 1.0m Jackhammers/Pneumatic Breakers
- 2.0m Boring Equipment (in-line, horizontal and vertical)

For more info contact a [CERTLOC Certified Locating Organisation \(CLO\)](#) or
Telstra Location Intelligence Team 1800 653 935



	<p>Report Damage:https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p>	<p>Sequence Number: 265571796</p> <p>CAUTION: Critical Network Route in plot area. DO NOT PROCEED with any excavation prior to seeking advice from Telstra Plan Services on : 1800 653 935</p>
<p>TELSTRA LIMITED A.C.N. 086 174 781</p> <p>Generated On 11/12/2025 12:23:37</p>		

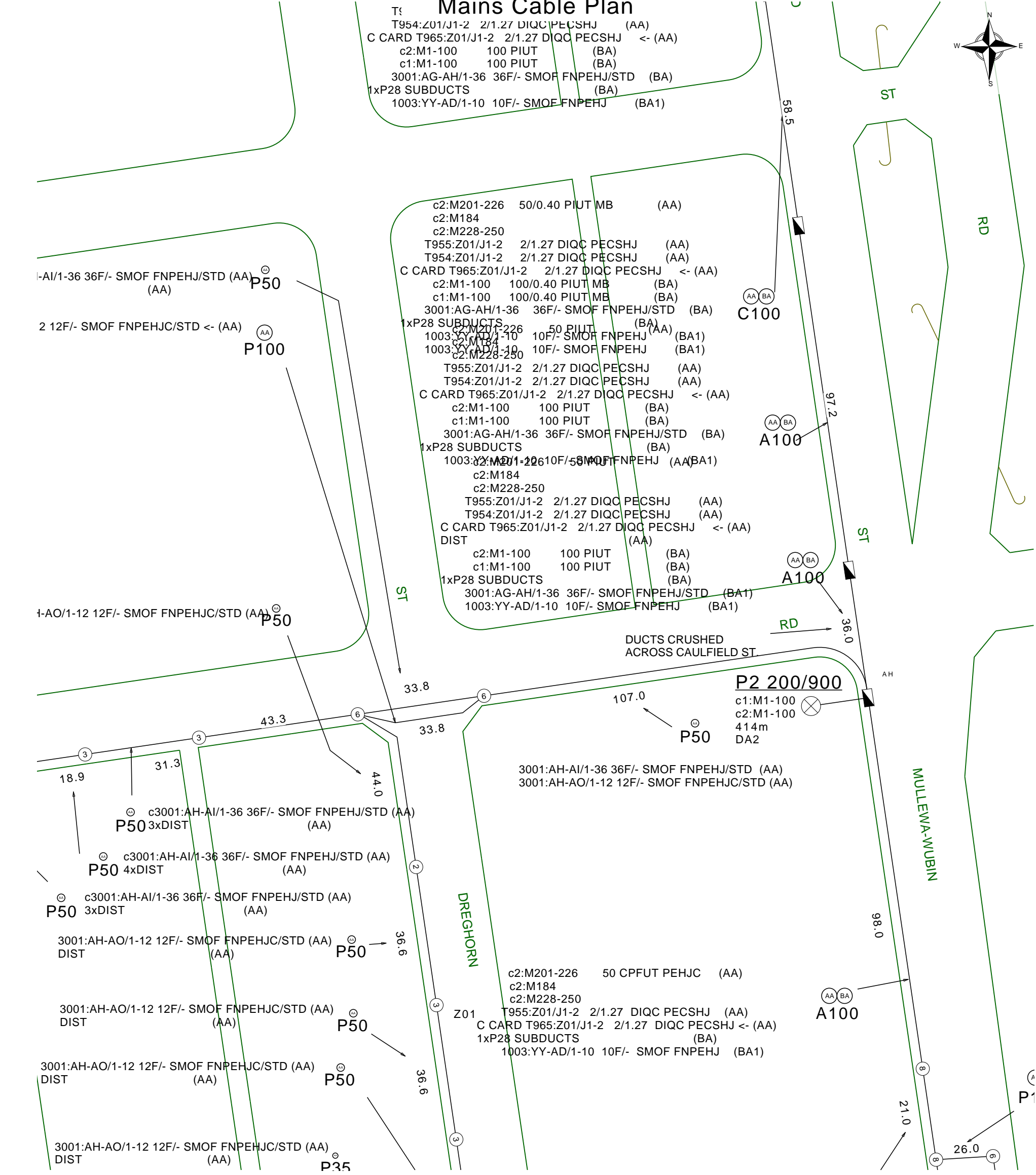
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING

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See the Steps- Telstra Duty of Care that was provided in the email response.

Page 1 of 2



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra>
Ph - 13 22 03
Email - Telstra.Plans@team.telstra.com
Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

TELSTRA LIMITED A.C.N. 086 174 781
Generated On 11/12/2025 12:23:39

Sequence Number: 265571796

**CAUTION: Critical Network Route in plot area.
DO NOT PROCEED with any excavation prior to
seeking advice from Telstra Plan Services on :
1800 653 935**

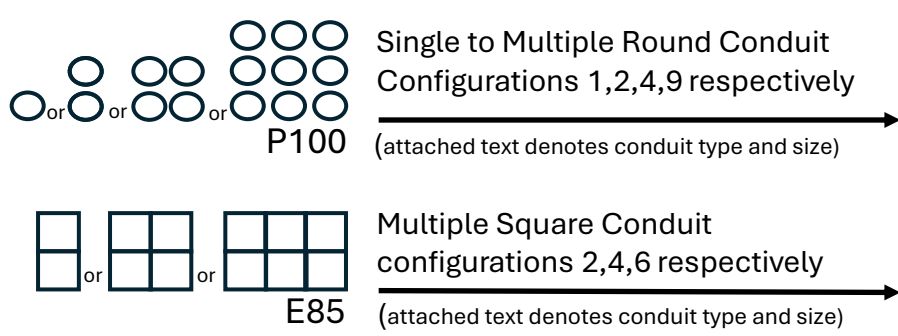
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING
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See the Steps- Telstra Duty of Care that was provided in the email response.

LEGEND



	Leadin terminates at a Customer Address		Cable Jointing Pit Number / Letter indicating Pit type/size
	Exchange Major Cable Present		Elevated Joint (above ground joint on buried cable)
	Pillar / Cabinet Above ground Free Standing		Telstra Plant in shared Utility trench
	Above ground Complex Equipment Please note: Powered by 240v electricity		Aerial cable / or cable on wall
OC	Other Carrier Telecommunication Cable/ Asset. Not Telstra Owned		Aerial cable (attached to joint use Pole e.g., Power Pole)
DIST	Distribution cables in Main Cable Ducts		Marker Post Installed
MC	Main Cable ducts on a Distribution Plan		Buried Transponder
	Blocked or Damaged Duct		Marker Post & Transponder
	Footway Access Chamber (can vary between 1-lid to 12-lid)		Optical Fibre Cable Direct Buried
	NBN Pillar		Direct Buried Cable
	Third Party Owned Network Non-Telstra		nbn owned network



Some examples of conduit type and size:

A - Asbestos cement, P - PVC / Plastic, C - Concrete, GI - Galvanised Iron, E - Earthenware

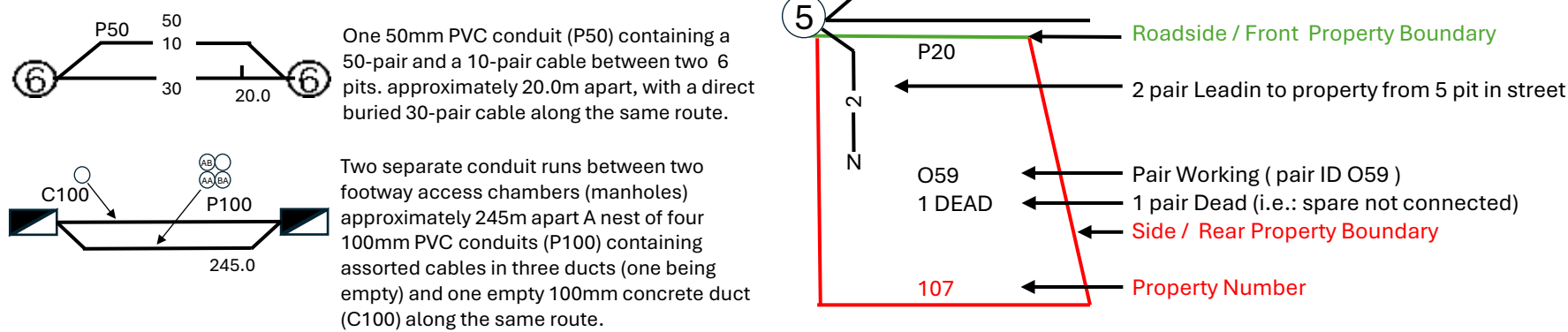
Conduit sizes nominally range from 20mm to 100mm

P50 50mm PVC conduit

P100 100mm PVC conduit

A100 100mm asbestos cement conduit

Some Examples of how to read Telstra Plans



The 5 Ps of Safe Excavation

<https://www.byda.com.au/before-you-dig/best-practice-guides/>

Plan	Prepare	Pothole	Protect	Proceed
Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.	Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a Certified Locator.	Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.	Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.	Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.

From: [BYDA - Shire of Morawa](#)
To: [Marty Symmons](#)
Subject: BYDA - Job 51923108 - Referral 265571793 - RHSF
Date: Thursday, 11 December 2025 9:20:08 AM
Attachments: [149137-202_sewer_map 3 of 6 265571793.pdf](#)
[149137-204_sewer_map5 of 6 265571793.pdf](#)
[149137-203_Sewer map 4 of 6 265571793.pdf](#)
[149137-201_sewer map 2 of 6 265571793.pdf](#)
[149137-200_Sewer map 1of 6 265571793.pdf](#)
[149137-100_RevA 265571793.pdf](#)
[149137-205_sewer map 6 of 6 265571793.pdf](#)

You don't often get email from dbyd@1100.com.au. [Learn why this is important](#)

Caution: This email originated from outside the organization. Be cautious with links and attachments.

This content was uploaded by Shire of Morawa in response to your Before You Dig enquiry.

Uploaded 11 Dec 2025 9:19:23am

Attention: **Marty Symmons**

Thank you for your Before You Dig (BYDA) enquiry.

Job Number: **51923108**

Sequence Number: **265571793**

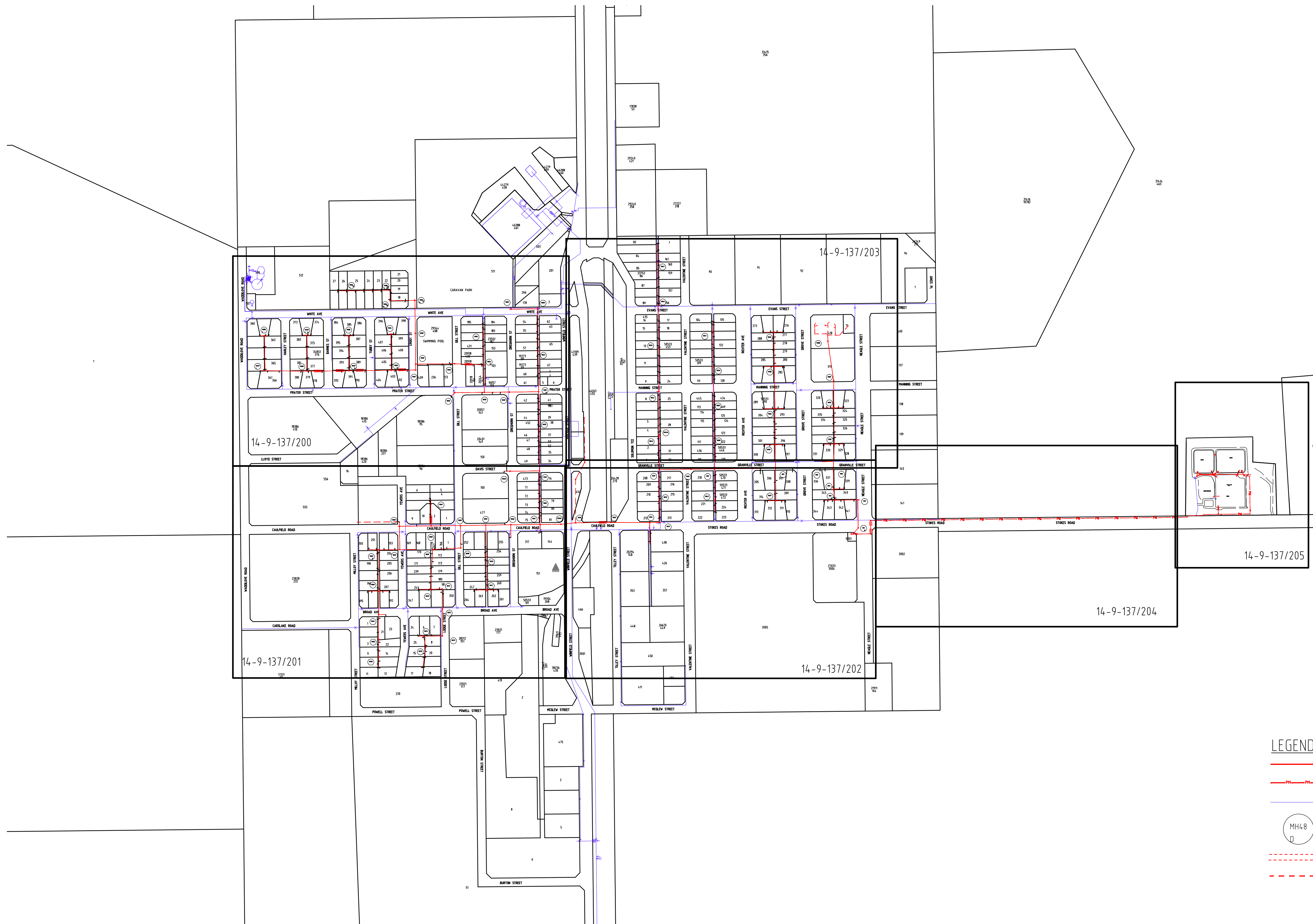
Dig Site Location: **59 Dreghorn St Morawa WA 6623**

According to our records, your enquiry with the following details **impacts our infrastructure**. Please ensure that you read the attached documents, it contains important information including essential steps that must be undertaken prior to commencing construction activities.

This enquiry is valid for **30 days** from the enquiry date.

If you require further information or assistance with interpretation of plans, please contact **Shire of Morawa** on **(08) 9971 1204** joe.hodges@morawa.wa.gov.au

This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the BYDA enquiry outlined above. Please ensure that the BYDA enquiry details and this response accurately reflect your proposed works.



LEGEND

- EXISTING SEWER PIPE
- EXISTING SEWER PRESSURE MAIN PIPE
- EXISTING WATER MAIN
- EXISTING SEWER MANHOLE DETAIL
D DROP
- CONCRETE ENCASING
- INTERNAL SEWER



PROJECT:

MORAWA SEWER RETICULATION

ISSUED FOR CONSTRUCTION

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50 Kishore Road
M9 Piessefont 4553 WA
PO Box 1036
Canning Bridge 4553 WA
Tel (08) 9315 9955
Fax (08) 9315 9959
Email office@portereng.com.au
www.portereng.com.au

T2080 Pty Ltd ACN 620 997 548 as trustee for The Consulting Engineering Unit Trust trading as Porter Consulting Engineers ACN 70 426 296 385

CLIENT:

SHIRE OF MORAWA

DRAWING:

OVERALL EXISTING SEWER

STATUS: FOR INFORMATION

SCALE:

1:5000

DATE:

OCT 2014

DESIGN:

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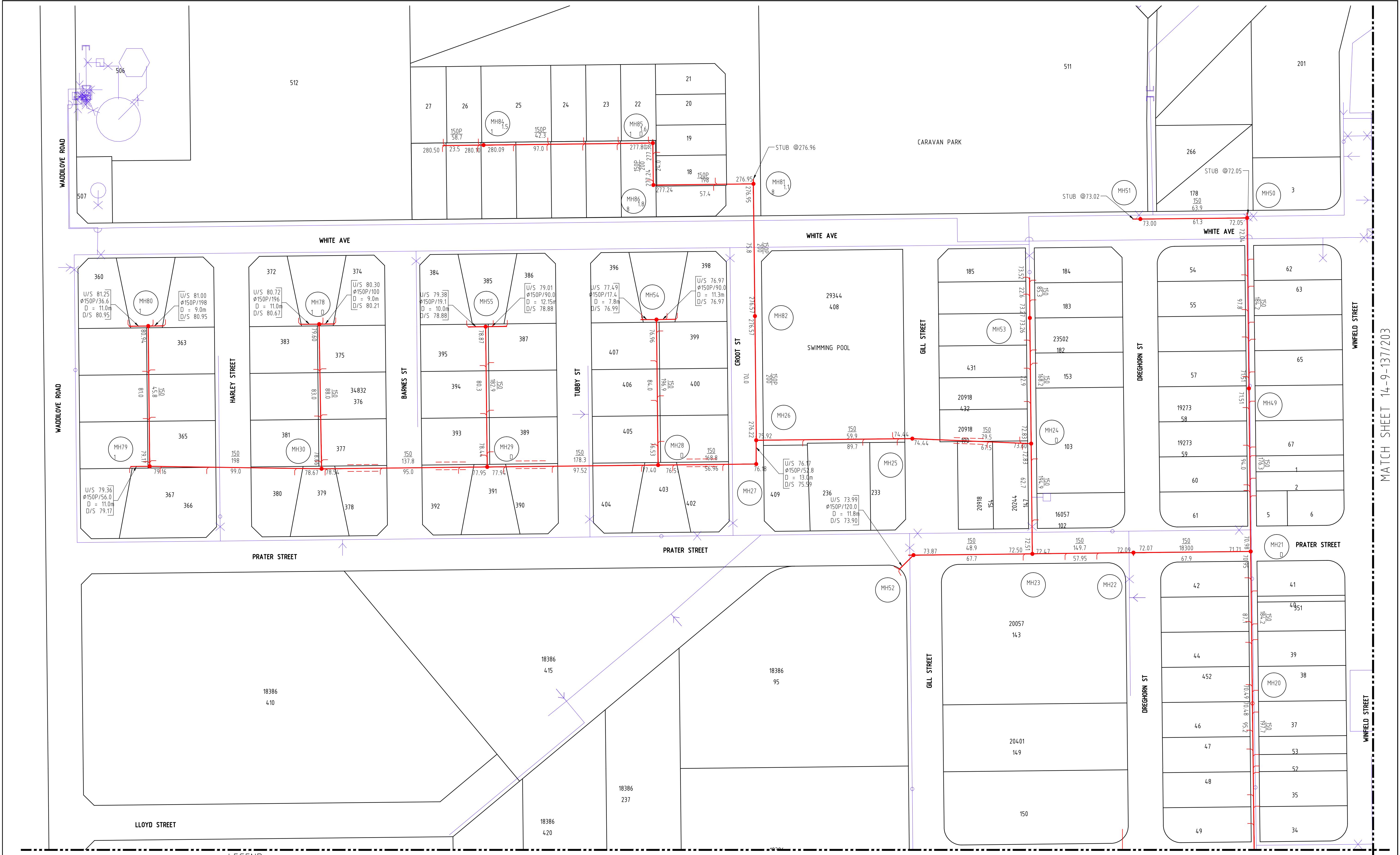
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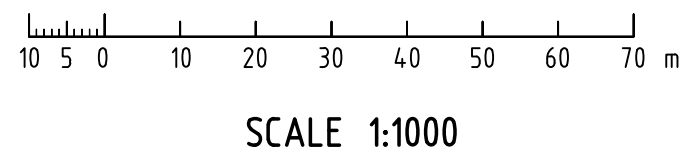
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MATCH SHEET 14-9-137/201

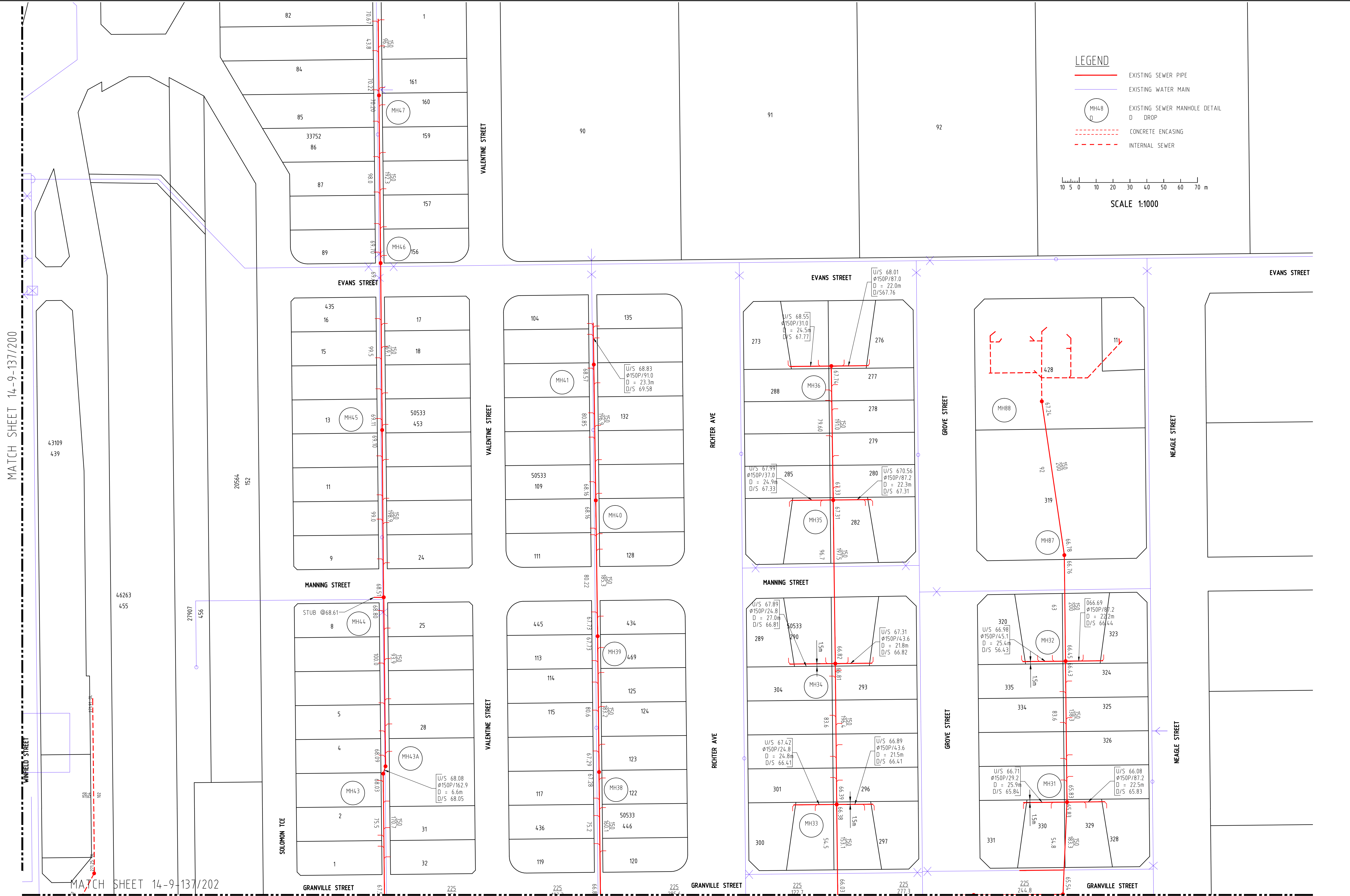


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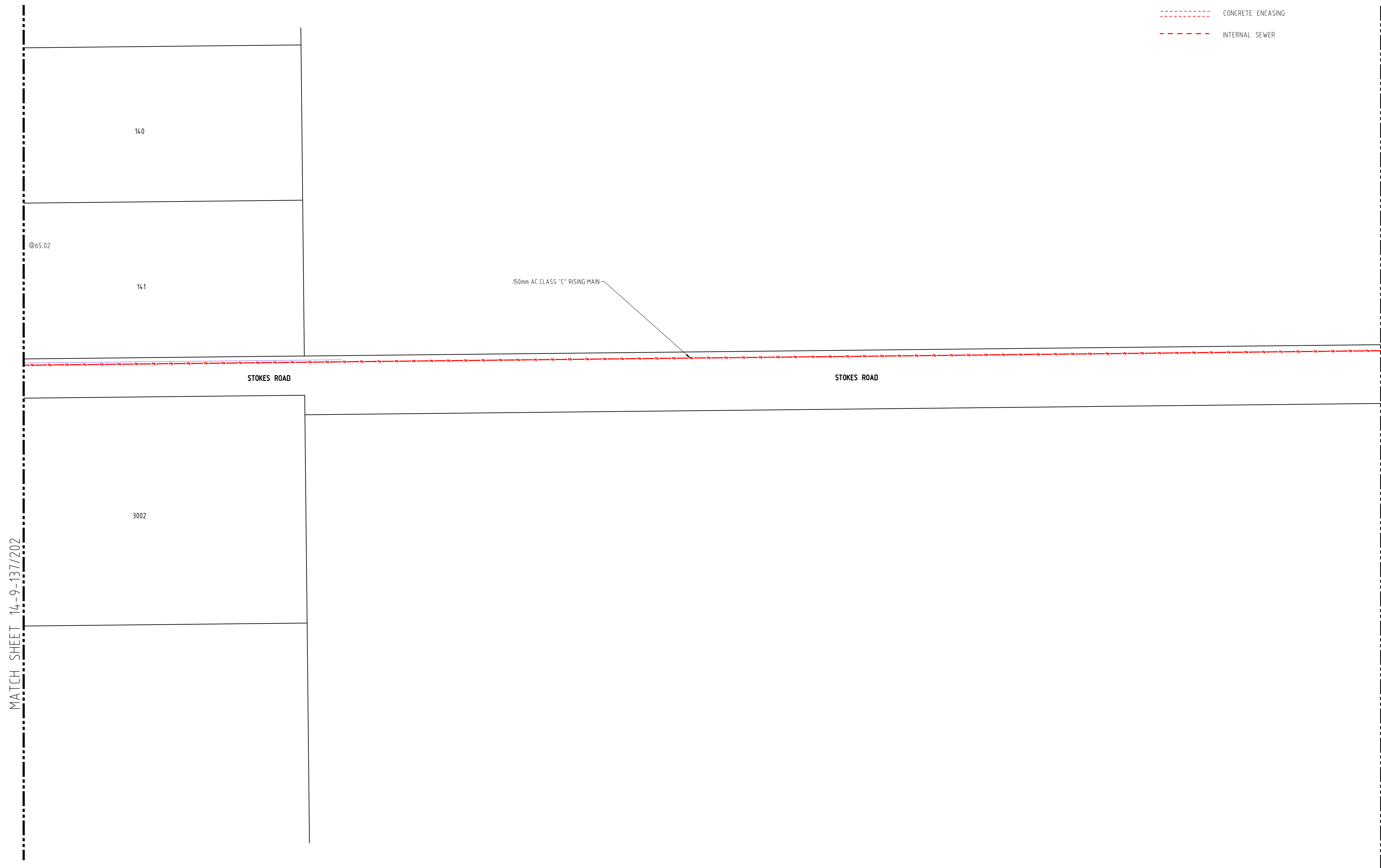
PROJECT: MORAWA SEWER RETICULATION		ISSUED FOR CONSTRUCTION		COPYRIGHT Copyright in this drawing is the property of the consultant. The client has license to use this drawing for the project only. The user shall be responsible for "SITE CHECKING" ALL DIMENSIONS BEFORE COMMENCEMENT OF WORK. CAD DRAWING DO NOT MANUALLY ALTER		Porter Consulting Engineers		CLIENT: SHIRE OF MORAWA		DRAWING: EXISTING SEWER RETICULATION SHEET 1 OF 6		SCALE: 1:1000 DATE: OCT 2014 DESIGN: BIH DRAWN: MEG CHECK: APPD		DRAWING No. 14-9-137/200 FILE NAME: S:\ACTIVE PROJECTS\14-09-137\ACAD\14-9-137-200.dwg		REV. No. A A1		ORIGINAL DRAWING SIZE	
D. No.		DATE		BY		Level 2 Kishore Court 50 Kishore Road Mt Pleasant 4553 WA PO Box 1036 Canning Bridge 4153 WA Tel: (08) 9315 9955 Fax: (08) 9315 9959 Email: office@portereng.com.au www.portereng.com.au		T0800 Pty Ltd ACN 626 097 548 as trustee for The Consulting Engineering Unit Trust trading as Porter Consulting Engineers ABN 78 626 296 385		STATUS: FOR INFORMATION									





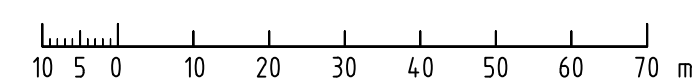
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MATCH SHEET 14-9-137/202

MATCH SHEET 14-9-137/205



SCALE 1:1000

PROJECT:

MORAWA SEWER RETICULATION

No.	DATE	REVISION	BY

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PO Box 1036
Canning Bridge 6153 WA
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CLIENT:

SHIRE OF MORAWA

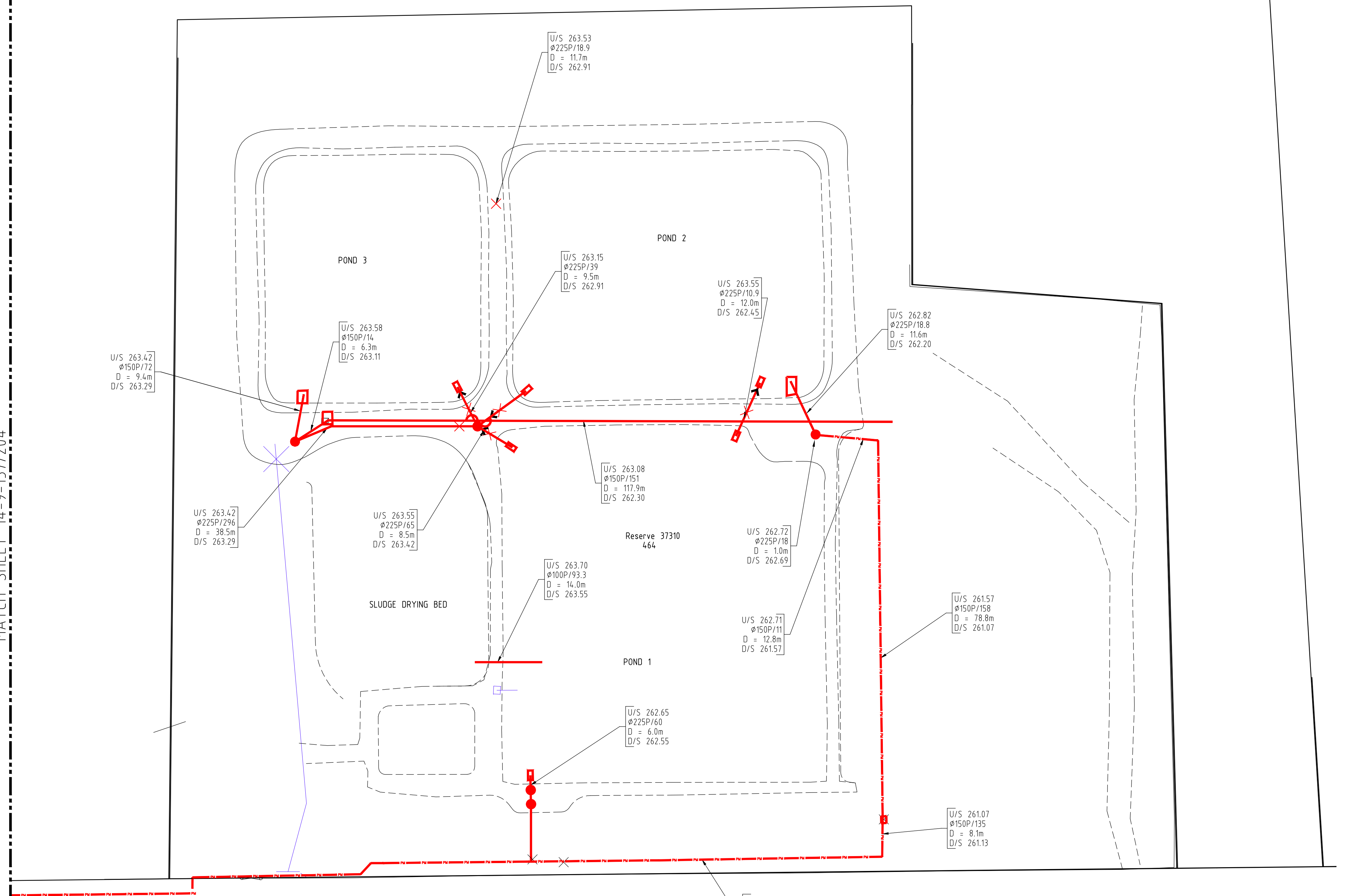
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**EXISTING SEWER RETICULATION
SHEET 5 OF 6**

STATUS: **FOR INFORMATION**

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	CONCRETE ENCASING
	INTERNAL SEWER



MORAWA SEWER RETICULATION

No.	DATE	REVISION	BY
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Email office@portereng.com.au
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SHIRE OF MORAWA

**EXISTING SEWER RETICULATION
SHEET 6 OF 6**

FOR INFORMATION

CHECK	APP'D	
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CommunitySkills WA
Facilitating a skilled workforce for WA

Marty Symmons
Chief Executive Officer
Shire of Morawa
26 Winfield Street
Morawa WA 6623

Dear Marty,

Re: Letter of Support – Morawa Worker Housing

Community Skills WA is pleased to support the Shire of Morawa's funding application to address the critical housing shortages impacting workforce attraction and retention in the Morawa community.

As the Industry Training Council for the Community Services, Health, Education, and Sport, Fitness and Recreation sectors, we work closely with local governments, industry, and regional stakeholders to understand workforce needs. We share the Shire's commitment to building sustainable, skilled, and accessible workforces across regional communities.

We are acutely aware that limited housing supply significantly affects the recruitment and retention of essential workers in regional and remote areas. Many key occupations, such as health professionals, early childhood educators, aged care and disability support workers, and other frontline personnel, are often not available locally, requiring staff to relocate. The shortage of appropriate and affordable housing is a major barrier to this relocation and impacts the continuity of vital community services.

This issue has broader implications for regional economies and community wellbeing, with frontline services in government, education, health, emergency services, trades, and agriculture particularly affected. Without adequate housing, regional communities cannot attract or retain the workforce needed to support growth and essential service delivery.

For these reasons, Community Skills WA strongly supports the Shire of Morawa's efforts to secure funding to address the housing shortage. Increased housing availability will be critical to improving workforce stability, strengthening services, and supporting the long-term resilience of the Morawa community.

We commend the Shire's proactive approach and look forward to continuing to support initiatives that strengthen regional workforce outcomes.

Yours sincerely,

Caroline Thompson
Executive Director
24 November 2025



Marty Symmons
Chief Executive Officer
Shire of Morawa
26 Winfield Street
Morawa WA 6623
11 December 2025
Re: Letter of Support – Morawa Worker Housing

Dear Marty Symmons,

Morawa District High School is pleased to provide strong support for the Shire of Morawa's funding application to the Regional Housing Support Fund (RHSF) to address the critical housing shortages affecting workforce attraction and retention in our community.

Morawa District High School relies heavily on qualified teachers, administrators, and support staff, roles that are rarely filled locally. As a regional community, most suitably qualified staff need to relocate to Morawa to take up these positions, and the current housing shortage presents a major barrier to recruitment, relocation and retention.

The significant challenges we face include:

- Severe shortage of GROH housing: Limited properties are available for incoming teachers, administrators, and staff.
- Severe shortage of family-sized homes Private and GROH: No 4x2 or 3x2 housing options for families, making attraction, relocation and retention of staff difficult.
- Recruitment challenges: Poor housing conditions deter international teachers and new recruits.
- Overall impact: Staff morale and retention are negatively affected by inadequate housing and slow response times.

Beyond education, in my experience, the lack of housing impacts the whole community of Morawa, effecting the front-line workforce hardest, with significant disruption in government, education, emergency services, primary health and allied health, trade and agriculture.

Improved housing will have a profound impact on Morawa's economic growth and community development. Attracting and retaining key workers ensures continuity of essential services, supports local businesses, and encourages families to settle in the region. This investment will strengthen the local economy, increase school enrolments, create a more vibrant community, and help secure Morawa's future as a thriving regional hub.

The construction of modern, well-maintained housing for key workers would be transformative for Morawa. It would strengthen our ability to attract and retain skilled professionals including teachers and administrators, support families relocating to the region, and contribute to the long-term sustainability of essential services in our town.

Thank you for your leadership in pursuing this important initiative. Please do not hesitate to contact me if you require further information or additional support for the grant application.

Kind regards

Tonia Carslake
Principal
Morawa District High School

Marty Symmons
Chief Executive Officer
Shire of Morawa
26 Winfield Street
Morawa WA 6623
24/11/ 2025

Re: Letter of Support – Morawa Worker Housing

Dear Marty Symmons,

MEEDAC is pleased to provide this letter of support for the Shire of Morawa's funding application aimed at addressing the critical housing shortages that continue to impact workforce attraction and retention across the Morawa community.

MEEDAC has worked closely with the Shire of Morawa for many years through the Community Development Program and, more recently, through the Remote Australia Employment Service, which commenced in November 2025.

Our ability to deliver high-quality services relies heavily on experienced case managers, supervisors, and horticultural specialists. These skill sets are rarely available locally, meaning suitably qualified staff must be recruited from outside the region. The current shortage of appropriate housing presents a significant barrier to relocation and makes it increasingly difficult to attract and retain the workforce required to deliver essential community services.

MEEDAC is acutely aware of the challenges regional and remote communities face in recruiting experienced, qualified key workers. Inadequate or limited housing and services have significant and widespread impacts on local economies and disproportionately affect frontline workforces across government, education, emergency services, health, trades, and agriculture.

Our Innovation Park project, located east of Morawa, was heavily impacted by Cyclone Saroja. While we are now beginning to bring the facility back into production, the shutdown resulted in the loss of experienced staff, and we are currently rebuilding workforce capability through training. Despite this, we continue to require the expertise of a qualified horticulturist. Suitable accommodation is essential for attracting professionals to remote areas, particularly those relocating with families.

MEEDAC strongly supports the Shire's efforts and wishes the Morawa Shire every success with this vital funding application.

Sincerely,



Mary Ripper
MEEDAC General Manager
E: mary@meedac.com
M: 0418 997 618

Dear Mr Symmons,

I am pleased to provide my full support for the Shire of Morawa's application to the Regional Housing Support Fund to address the urgent shortage of suitable accommodation for key workers in our community.

As the operator of the only current childcare service in Morawa, I work closely with local families, businesses, educators, and community services. Accessible and reliable childcare is fundamental to workforce participation and community stability, yet our ability to expand and meet demand is significantly constrained by housing shortages.

My service relies on qualified early childhood educators, the majority of whom would need to relocate to Morawa. Without available, appropriate local housing, it is extremely difficult to attract or retain these essential workers. This limitation directly affects the number of childcare places I can provide, which in turn restricts parents' ability to return to work, local employers' capacity to fill roles, and the overall growth and resilience of our community.

The development of dedicated worker accommodation would remove one of the biggest barriers preventing additional educators from moving here. This would allow us to:

- Increase childcare places for local families
- Reduce waitlists and support parents to re-enter the workforce
- Build a more stable and skilled local early childhood workforce
- Support broader community and economic development
- Strengthen long-term sustainability of childcare provision in Morawa

The lack of housing is not only impacting early education but is a widespread challenge across essential sectors, including health, emergency services, education, trades, and local government. As someone who works at the frontline of community need, I see daily how crucial this funding is for the future of Morawa.

I strongly support the Shire of Morawa's initiative and acknowledge the significant positive impact that increased worker accommodation will have on families, children, and the wider community.

Thank you for the opportunity to contribute to this important application.

Sincerely,

Theresa English,

Morawa Family Daycare Services.

0475 506 798

tessa@elite-fdc.com.au

Our Ref:
Enquiries:

A14959462
Nils Hay

Mr Marty Symmons
Shire of Morawa
26 Winfield Street
Morawa WA 6623

26 November 2025

Re: Letter of Support – Morawa Worker Housing

Dear Mr Symmons,

The Mid West Development Commission (MWDC) is pleased to provide support for the Shire of Morawa's funding application to address the critical housing shortages affecting workforce attraction and retention in the Morawa community.

MWDC is a statutory authority of the Western Australian State Government and is one of nine Regional Development Commissions, functioning under the provisions of the *Regional Development Commissions Act (1993)*.

The Commission's role is to coordinate and promote socioeconomic development in the Mid West to maximise prosperity and wellbeing for the region. The Commission achieves this by providing the regional link between government policy and planning and regional aspirations and needs.

The Commission is acutely aware of the barriers to recruiting experienced, suitably qualified key workers to regional and remote communities. Inadequate housing has serious, widespread effects on staff attraction and retention. Unfortunately, these impacts often affect the front-line workforce, disrupting most sectors, including government, education, emergency services, primary and allied health, trade and agriculture.

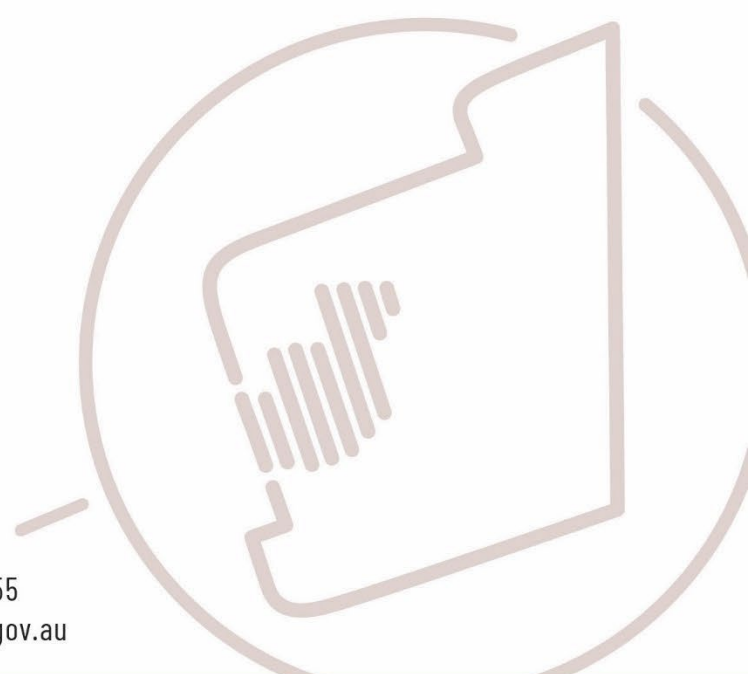
We commend the Shire of Morawa's efforts to increase housing stock for key workers in Morawa. The Shire's proposal aligns with the MWDC's 2023-26 Strategic Plan initiative 1.3.1 - Improve housing investment and market confidence for workforce and population growth. This proposal would materially enhance the ability for the Morawa community to recruit and retain key workers.

As such, we are pleased to provide this letter in support. Feel free to contact me for any additional information.

Sincerely



Nils Hay
CHIEF EXECUTIVE OFFICER
26 November 2025



Marty Symmons
Chief Executive Officer
Shire of Morawa
26 Winfield Street
Morawa WA 6623

18 November 2025

Re: Letter of Support – Morawa Worker Housing

Dear Marty,

Regional Early Education and Development (REED) is pleased to provide support for the Shire of Morawa's funding application to address the critical housing shortages affecting workforce attraction and retention in the Morawa community.

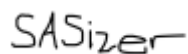
REED is a solely regionally based early childhood education and care (ECEC) provider in Western Australia. In December 2023, REED entered into a partnership agreement with the Shire of Morawa to become the provider of early childhood education & care (ECEC) services in a newly constructed, purpose-built facility, estimated to provide care to up to 24 children per day, five days a week. Since the establishment of the partnership agreement, the facility has been progressed and is nearing completion. More recently, with the planned closure of a family day care service which is the only childcare option currently available to the community, REED is actively working with the Shire of Morawa to meet the critical need for ECEC by establishing an interim long day care service providing care for up to 15 children per day. The services will require a minimum of 3.0 FTE to commence operating, with additional staffing when the new larger facility is opened.

Our service relies heavily on diploma-qualified educators, who are rarely available locally, meaning that most suitably qualified staff need to relocate to the area. The current local housing shortage presents a major barrier to relocation. With 26 operating regional long day care services, REED is acutely aware of the barriers to recruiting experienced, suitably qualified educators to regional and remote communities. Inadequate or shortages of ECEC services has serious, widespread effects on regional economies, when working parents are unable to access suitable care arrangements. Unfortunately, in our experience, these impacts hit the front-line workforce hardest with significant disruption to community in education, emergency services, primary and allied health, trade and agriculture.

Over the past four years, REED has implemented various measures to support staff accommodation across the region, including leasing houses, providing accommodation allowances, covering relocation costs, and subsidising travel from neighbouring towns. While these initiatives provide short-term relief, they are not sustainable, and ongoing housing insecurity continues to disrupt staffing, service delivery, and the financial viability of our centres.

As REED looks to build its local workforce within the Shire of Morawa to meet the critical need and demand for a newly established facility, accommodation will present as a recurrent inhibitor. Access to suitable housing will allow us to retain staff longer, reduce turnover, and provide consistent, high-quality early education, all vital to children's wellbeing. REED strongly supports investment in housing that meets the needs of the regional workforce. Doing so will safeguard essential services, support families, and strengthen the sustainability of Morawa and other regional communities.

Sincerely,



Steven Sizer
General Manager

Regional Early Education and Development Inc. (REED)

Ordinary Council Meeting 15 December 2025

Attachment 1 – 12.1a Minutes of Audit, Risk & Improvement Committee Meeting, 10 December 2025.

Item 12.1 - Audit , Risk & Improvement Committee (ARIC) – December 2025.



MINUTES

AUDIT, RISK & IMPROVEMENT COMMITTEE

held on

Wednesday, 10 December at 12.00pm

at the

**Shire of Morawa Council Chambers,
26 Winfield Street, Morawa**



WESTERN AUSTRALIA'S
WILDFLOWER COUNTRY

'This meeting is being recorded on audio tape and to assist with minute taking purposes. The public is reminded that in accordance with Section 6.16 of the Shire of Morawa Meeting Procedures Local Law 2012 that nobody shall use any visual or vocal recording device or instrument to record the proceedings of Council without the written permission of the presiding member.'

DISCLAIMER

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Any person or legal entity that acts or fails to act in reliance upon any statement, act or omission occurring in a Council Meeting does so at their own risk. The Shire of Morawa advises that any person or legal entity should only rely on formal confirmation or notification of Council resolutions.

DISCLOSURE OF FINANCIAL/ IMPARTIALITY/ PROXIMITY INTERESTS

Local Government Act 1995 – Section 5.65, 5.70 and 5.71 Local Government (Administration) Regulation 34C

<i>This form is provided to enable members and officers to disclose an Interest in a matter in accordance with the regulations of Section 5.65, 5.70 and 5.71 of the Local Government Act and Local Government (Administration) Regulation 34C</i>			
Name of person declaring the interest			
Position			
Date of Meeting			
Type of Meeting (Please circle one)	Council Meeting/ Committee Meeting/ Special Council Meeting Workshop/ Public Agenda Briefing/ Confidential Briefing		
Interest Disclosed			
Item Number and Title			
Nature of Interest			
Type of Interest (please circle one)	Financial	Proximity	Impartiality
Interest Disclosed			
Item Number and Title			
Nature of Interest			
Type of Interest (please circle one)	Financial	Proximity	Impartiality
Interest Disclosed			
Item Number and Title			
Nature of Interest			
Type of Interest (please circle one)	Financial	Proximity	Impartiality

Signature: _____

Date: _____

Important Note: Should you declare a **Financial** or **Proximity** Interest, in accordance with the Act and Regulations noted above, you are required to leave the room while the item is being considered. For an **Impartiality** Interest, you must state the following prior to the consideration of the item:

“With regard to agenda item (read item number and title), I disclose that I have an impartiality interest because (read your reason for interest). As a consequence, there may be a perception that my impartiality on the matter may be affected. I declare that I will consider this matter on its merits and vote accordingly.”

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Item 1 Opening of Meeting

The Presiding Member to declare the meeting open at 12pm.

Item 2 Acknowledgement of Traditional Owners and Dignitaries

The Presiding Member acknowledges the traditional custodians, the Yamatji people, and recognises the contribution of Yamatji Elders past, present and future, in working together for the future of Morawa.

Item 3 Recording of Attendance**3.1 Attendance****E- Attendance**

Mr Nils Hay (Independent Member and Presiding Member)
President Councillor Karen Chappel

In- Person Attendance

Deputy President Councillor Ken Stokes
Councillor Diana North

Staff

Chief Executive Officer	Marty Symmons
Executive Manager Corporate and Community Services	Brad Douglas

3.2 Apologies

Councillor Grant Chadwick

3.3 Approved Leave of Absence

Nil

3.4 Disclosure of Interests

Nil

Item 4 Applications for Leave of Absence

Nil

Item 5 Response to Previous Questions

Nil

Item 6 Questions from Members without Notice

Nil

Item 7 Announcements by Presiding Member without Discussion

Nil

Item 8	Declarations of All Members to have Given Due Consideration to All Matters Contained in the Business Paper before the Meeting
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The Committee Members to declare that they had given due consideration to all matters contained in the agenda.

- Mr Nils Hay (Independent Member and Presiding Member)
- President Councillor Karen Chappel
- Deputy President Councillor Ken Stokes
- Councillor Diana North

Item 9	Confirmation of Minutes of Previous Meeting
---------------	--

The Minutes of the 23 July 2025 Audit & Risk Management Committee Meeting were provided under separate cover via the Shire of Morawa's secure portal on 09th October 2025.

OFFICER'S RECOMMENDATION/COMMITTEE RESOLUTION

251201

Moved: Cr Coaker

Seconded: Cr Chappel

That the Audit & Risk Management Committee Meeting Minutes held on Wednesday 23, July 2025 is confirmed to be a true and correct record.

CARRIED BY SIMPLE MAJORITY 4/0

Disclaimer

Members of the public are cautioned against taking any action on Council decisions, on items in this agenda in which they may have an interest, until formal notification in writing from the Shire has been received. Decisions made at this meeting can be revoked pursuant to the Local Government Act 1995.

Item 10 Reports of Officers**10.1 2022-2023 Regulation 17 Actions Update**

Author: Executive Manager Corporate and Community Services

Authorising Officer: Chief Executive Officer

Disclosure of Interest: The Author and Authorising Officer declare that they do not have any conflicts of interest in relation to this item.

OFF OFFICER'S RECOMMENDATION/COMMITTEE RESOLUTION**251202****Moved: Cr Chappel****Seconded: Cr Stokes**

That the Audit & Risk Management Committee:

- 1. Notes the Reg 17 review update for July 2025 and accepts the actions taken so far.**

CARRIED BY SIMPLE MAJORITY 4/0

PURPOSE

For the Audit, Risk & Improvements Committee to be updated on the status of the action items relating to the 2023 Regulation 17 Assessment. As well as the current progress of the 2025 audit.

DETAILBackground

The Audit & Risk Management Committee (Committee) is responsible for the oversight of actions related to the *Local Government (Audit) Regulations 1996*. Regulation 17 states that the CEO is to review certain systems and procedures relating to risk management, internal control, and legislative compliance at least once in every three financial years.

The last Regulation 17 review was conducted in 2022/2023 by Civic Legal as an experienced Local Government specialised legal firm. It was proposed to undertake the next Regulation 17 review in conjunction with the Financial Management Review. Regulation 17 reviews are not pass or fail and centre around embedding continuous improvement within the organisation.

A number of suggested actions were highlighted as part of the review's findings. Council has previously endorsed the CEO's allocated timeframes against each action with the goal of delivering all actions by the time of the next review.

Update

A full update was provided and accepted at the July ARIC meeting 2025 – *Attachment 1*. Procedure and plan development delays are an unfortunate outcome of workforce shortages and resource

constraints, but all critical items have been reviewed and the current stage of development is a further enhancement or documentation of existing practices.

The Reg 17 and Financial Systems Management Review (FMSR) are both to be audited as stated in the act not less than once in every three financial years. As such, the scheduled audits for these processes were commenced on the 1st December 2025 with auditors on site from the week of the 8th December 2025. It is expected previous findings that have may not have been remediated, will be reported on as part of this audit. It is expected that the audit findings be available to council in the new year.

LEVEL OF SIGNIFICANCE

Medium – achieving the agreed upon action items within delivery timeframe will ensure continued improvement and compliance enhancements.

CONSULTATION

Senior Management Team

LEGISLATION AND POLICY CONSIDERATIONS

Local Government Act 1995

Local Government (Audit) Regulations 1996

Strategic Community Plan 2022 to 2032

N/A

FINANCIAL AND RESOURCES IMPLICATIONS

The delivery of some action items will involve consultant support or significant current workload reallocation.

RISK MANAGEMENT CONSIDERATIONS

The Regulation 17 Audit is essentially a risk mitigation/identification measure focussed on providing the Committee with information relating to potential systems or procedure risk areas. The current outcomes are behind schedule which increases the risk of not all items being completed by 2026, this is a risk but the Shire does not have the resources to achieve the current approved timeframes.

CONCLUSION

Work continues towards achieving organisation wide compliance, with a status update of the Regulation 17 Review action items as presented above.

ATTACHMENTS

Attachment 1 – 10.1a Shire of Morawa Reg 17 Action Items – July 2025 Update

10.2 Annual Report and Annual Financial Statements and Audit Report

Author: Executive Manager Corporate and Community Services

Authorising Officer: Chief Executive Officer

Disclosure of Interest: The Author and Authorising Officer declare that they do not have any conflicts of interest in relation to this item.

OFFICER'S RECOMMENDATION/COMMITTEE RESOLUTION

251203 Moved: Cr Chappel Seconded: Cr North

That the Audit & Risk Management Committee:

- 1. Adopt the Annual Report for the 2024-2025 financial year inclusive of the Annual Financial Report and Auditor Opinion.**
- 2. Direct the Chief Executive Officer to convene a general meeting of electors for Monday, 24th February 2025 at 5:30pm to coincide with the Ordinary Council Meeting on that date.**

CARRIED BY ABSOLUTE MAJORITY 4/0

PURPOSE

The purpose of this report is to present to the Audit, Risk and Improvement Management Committee (the Committee) the 2024-2025 Annual Report, Audit Report and Audited Financial Statements with the recommendation for Council adoption and to set the meeting time and date of the annual electors' meeting.

DETAIL

Council has an obligation under the Local Government Act 1995 to prepare an Annual Report which includes audited financial statements. The 2024-2025 audit has been completed by the Office of the Auditor General contractor Armada. The audit findings and financial statements are presented in the 2024-2025 Annual Report - *Attachment 1*.

As required by the Local Government Act 1995 the Local Government is required to present the report to an Annual Electors Meeting within 56 days of accepting the Annual Report by Council, giving at least 14 days' public notice. The Shire will advertise the meeting and the availability of the 2024-2025 Annual Report on the Shire Website, noticeboards and other local communication channels.

In order to reduce the meeting burden upon Councillors it is proposed that the date for the February council meeting coincide with the electors meeting.

The Annual Report and Audited Financial Statements includes:

- Shire President's Report
- Chief Executive Officer's Report
- Statutory Reports
- Freedom of Information Statement
- Audited Financial Statements
- Audit Report

The reports outline other activities undertaken during 2024-2025 together with the financial position of the Shire of Morawa as at 30 June 2025.

The Audit exit meeting was held on 27 November 2025 with Cr Karen Chappel, CEO Marty Symmons, EMCCS Brad Douglas, Suraj Karki from the OAG, Marcia Johnson & Ebin Johnson from Armada. The final reports are now presented to the Committee to review and receive the financial statements as audited.

LEVEL OF SIGNIFICANCE

High – The sequence and timing of acceptance and meetings are prescribed by legislation.

CONSULTATION

Audit and Risk Management Committee
Chief Executive Officer
Executive Manager Corporate and Community Services

LEGISLATION AND POLICY CONSIDERATIONS

The Local Government Act 1995 – Sections 5.53, 5.56 & 5.54
The Local Government (Financial Management) Regulations 1996

Strategic Community Plan 2022 - 2032

Be future focused in all we do:
1. Ensure the Shire and its assets are well resourced and sustainable.

FINANCIAL AND RESOURCES IMPLICATIONS

Nil

RISK MANAGEMENT CONSIDERATIONS

If Council choose not to accept the Annual Report at this meeting, then the risk of non-compliance may arise if a suitable special meeting date cannot be found prior to 31 December 2025.

CONCLUSION

That the Audit and Risk Management Committee recommend Council adopt the recommendation as presented and authorise the CEO to undertaking the necessary notice periods as required under the *Local Government Act 1995* and associated regulations.

ATTACHMENTS

Attachment 1 – 10.2a Shire of Morawa Annual Report 2024-25 including Annual Financial Statements and Auditor Opinion.

Item 11 Motions of Which Previous Notice Has Been Given
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Nil

Item 12 New Business of an Urgent Nature

Nil

Item 13 Closure

13.1 Date of Next Meeting

The next Audit & Risk Management Committee will be held on Wednesday 11 March 2026 commencing at 6.00pm.

13.2 Closure

There being no further business, the Presiding Member declared the meeting closed at 12.12pm.

Presiding Member